



TO: Wayne County Board of Commissioners

FROM: Craig Honeycutt, Wayne County Manager

DATE: February 21, 2022

SUBJECT: Board of Commissioners Meeting – March 1, 2022

The Appointment Committee of the Wayne County Board of Commissioners will meet on Tuesday, March 1, 2022 at 7:30 a.m. in Room 458 of the Wayne County Courthouse Annex, 224 E. Walnut Street, Goldsboro, North Carolina.

At 8:00 a.m., the Wayne County Board of Commissioners will meet for a briefing session and other matters in the Commissioners Meeting Room on the fourth floor of the Wayne County Courthouse Annex, located at 224 E. Walnut Street in Goldsboro, North Carolina.

The formal Wayne County Board of Commissioners meeting will begin at 9:00 a.m. in the Commissioners Meeting Room in the Wayne County Courthouse Annex, 224 E. Walnut Street, Goldsboro, North Carolina.

The public is invited to view the meeting livestream at www.waynegov.com.



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WAYNE COUNTY BOARD OF COMMISSIONERS AGENDA

March 1, 2022 – 9:00 A.M.

PLEASE SILENCE YOUR CELLPHONES

CALL TO ORDER – Chairman Joe Daughtery

INVOCATION – Vice-Chairman George Wayne Aycock, Jr.

PLEDGE OF ALLEGIANCE – Vice-Chairman George Wayne Aycock, Jr.

APPROVAL OF MINUTES – February 15, 2022

Pg. 4-7

DISCUSSION/ADJUSTMENT OF AGENDA

SPECIAL PRESENTATIONS Time Limit of 6 to 10 Minutes

1. United Way of North Carolina Spirit of NC Award Recipient – Sherry Archibald.

UNFINISHED BUSINESS

1. Discussion of cost estimates for street assessment improvements in the Lane Tree Village and Eagle Ridge subdivisions. Pg. 8-19
2. Motion to Approve the Recommendation of the Wayne County Board of Commissioners Facilities Committee on preliminary site plan of the combined DSS and Health Building. Pg. 20-26
3. Motion to Approve the Recommendation of the Wayne County Board of Commissioners Facilities Committee to instruct Moseley Architects to proceed with development design phase of the new Jail Facility. Pg. 27-29

9:15 A.M. PUBLIC HEARING

1. To receive public comments regarding a proposed economic development incentive grant to Mt. Olive Pickle Company, Inc. The Board of Commissioners will consider a \$600,000 incentive grant payable over ten (10) years in exchange for the company's commitment to invest \$45,500,000 in capital improvements and To create 167 jobs in Wayne County. Pg. 30-39

CONSENT AGENDA

1. Budget Amendments Pg. 40-55
2. Motion to Elect the Standard Revenue Loss Allowance of \$10 million under the ARPA U.S. Treasury Guidelines and to Amend the Wayne County ARPA Grant Project Ordinance. Pg. 56-59
3. Motion to approve the Sale of Surplus Property located at 510 Wilmington Ave, Goldsboro jointly Owned with the City of Goldsboro to Terence I. Johnson. Pg. 60-65
4. Motion to Approve the preliminary plat for Edgerton Farms Estates, Section 4, as recommended by the Wayne County Planning Board. Pg. 66-68
5. Motion to Approve the Sale by Upset Bid of 1003 N. George Street, Goldsboro, North Carolina, jointly owned with the City of Goldsboro, to Melissa Gill, as requested by the City of Goldsboro. Pg. 69-81
6. Motion to Adopt Resolution #2022-6: A Resolution Authorizing Health Department Recruitment and Retention Incentive Pay. Pg. 82-83
7. Motion to Adopt Resolution #2022-7: A Resolution Amending the Wayne County Personnel Policy. Pg. 84-87
8. Motion to Adopt Resolution #2022-8: A Resolution Accepting the NC General Assembly funding to establish an Accountability and Recovery Court. Pg. 88-89

9. Motion to Approve the Final Contract for the combined DSS/Health Department Building with Moseley Architects. Pg. 90-92
10. Motion to Adopt Financial Management Resolution #2022-10 for the 2022 CDBG Neighborhood Revitalization #20-C-3645. Pg. 93-94

PUBLIC COMMENTS

Each speaker will have a time limit of three (3) minutes.

COUNTY MANAGER'S REPORT

BOARD OF COMMISSIONERS COMMITTEE REPORTS

RECESS

RECONVENE AT THE MAXWELL AT 12:00 P.M. TO MEET WITH REPRESENTATIVES FROM THE MUNICIPALITIES AND THE BOARD OF EDUCATION

ADJOURNMENT

DENOTES ACTION REQUESTED

NORTH CAROLINA

WAYNE COUNTY

The Wayne County Board of Commissioners met on Tuesday, February 15, 2022 at 9:00 a.m. in the Commissioners Meeting Room in the Wayne County Courthouse Annex, Goldsboro, North Carolina, after due notice thereof had been given.

Members present: Joe Daughtery, Chairman; George Wayne Aycock, Jr., Vice-Chairman; Barbara Aycock; Chris Gurley; Freeman Hardison, Jr.; and Antonio Williams.

Members absent: Bevan Foster

Briefing Session

During the scheduled briefing and prior to the regularly scheduled meeting, the Board of Commissioners held an advertised briefing session to discuss the items of business on the agenda.

The briefing began at 8:03 a.m. with County Manager Craig Honeycutt reviewing the agenda. The agenda was adjusted by the following:

- Add Budget Amendment #304 – DSS
- Add Budget Amendment #305 – DSS
- Add Economic Development Agreement – Project Butter for Mt. Olive Pickle

Finance Director Allison Speight reviewed the Budget Amendments and answered questions from the board.

Staff Attorney Andrew Neal discussed the lease for land for David Rutledge Jr.

Staff Attorney Andrew Neal reviewed the changes made to the Conflict of Interest Policy.

Recess the Board of Commissioners Meeting

At 8:41 a.m., Chairman Joe Daughtery recessed the meeting of the Board of Commissioners.

Call to Order

Chairman Joe Daughtery called the meeting of the Wayne County Board of Commissioners to order.

Invocation

Commissioner Freeman Hardison, Jr. gave the invocation.

Pledge of Allegiance

Chairman Joe Daughtery led the Board of Commissioners in the Pledge of Allegiance to the Flag of the United States of America.

Approval of Minutes

Upon motion of Commissioner Freeman Hardison, Jr., the Board of Commissioners unanimously approved the minutes of the January 28, 2022 goals retreat and February 1, 2022 regularly scheduled meeting of the Board of Commissioners

Discussion/Adjustment of Agenda

County Manager Craig Honeycutt made the following adjustments to the agenda:

- Add Budget Amendment #304 – DSS
- Add Budget Amendment #305 – DSS
- Add Economic Development Agreement – Project Butter for Mt. Olive Pickle

Upon motion of Vice-Chairman George Wayne Aycock Jr., the Board of Commissioners unanimously approved and authorized the agenda.

Motion to Approve 2022 National FFA Week Proclamation

Cooperative Extension Director Kevin Johnson introduced Luke West, who is the President of the Charles B. Aycock FFA Chapter. Mr. West read the 2022 National FFA Week Proclamation, attached hereto as Attachment A.

Upon motion of Commissioner Antonio Williams, the Board of Commissioners unanimously approved the 2022 National FFA Week Proclamation.

Commissioner Freeman Hardison Jr. asked how many students are enrolled in FFA. Mr. West stated that Charles B. Aycock has 34 members.

Commissioner Barbara Aycock asked what made Mr. West decide to join FFA. Mr. West stated that his family has been in agriculture for a long time. He also stated that it provides many opportunities not only for the experiences but also for leadership.

Commissioner Chris Gurley stated that Charles B. Aycock has always had a strong FFA Chapter.

Vice-Chairman George Wayne Aycock Jr. stated that he is proud of those that participate in FFA.

Cooperative Extension Director Kevin Johnson spoke on the current status of the agriculture industry.

Motion to Adopt Resolution #2022-5: A Resolution Requesting Acceleration of Construction Schedule of Projects R-5829 A & B Princeton Bypass and R-2553 B & C Kinston Bypass

Commissioner Chris Gurley read Resolution #2022-5: A Resolution Requesting Acceleration of Construction Schedule of Projects R-5829 A & B Princeton Bypass and R-2553 B & C Kinston Bypass.

Upon motion of Commissioner Chris Gurley, The board of commissioners unanimously approved Resolution #2022-5: A Resolution Requesting Acceleration of Construction Schedule of Projects R-5829 A & B Princeton Bypass and R- 2553 B & C Kinston Bypass, attached hereto as Attachment B.

Motion to Approve the Recommendation of the Wayne County Board of Commissioners Facilities Committee to instruct Moseley Architects to Proceed with the Schematic Design of the combined DSS/Health Department Building

County Manager Craig Honeycutt thanked the Facilities committee for the work they have done with Moseley Architects and the departments on the design of the DSS/Health Department Building.

Upon motion of Commissioner Freeman Hardison Jr., the Board of Commissioners unanimously approved the Recommendation of the Wayne County Board of Commissioners Facilities Committee to instruct Moseley Architects to Proceed with the Schematic Design of the combined DSS/Health Department Building.

Consent Agenda

Upon motion of Vice-Chairman George Wayne Aycock Jr., the Board of Commissioners unanimously approved and authorized the following items under the consent agenda:

1. Budget Amendments
 - a. Sheriff's Office - #258
 - b. Finance - #263
 - c. Finance - #264
 - d. Literacy Connections - #278
 - e. Library - #280
 - f. Solid Waste - #284
 - g. Sheriff's Office - #285
 - h. Health Department - #286
 - i. Health Department - #287
 - j. Cooperative Extension - #290
 - k. Health Department - #294
 - l. Fremont Elementary School Capital Project Fund - #295
 - m. Workers Comp - #296
 - n. County Capital Reserve Fund - #297
 - o. DSS - #304
 - p. DSS - #305
2. Motion to Approve the Lease of the Property located at 3173 S. US 13 Highway, Goldsboro, North Carolina, to David Rutledge, Jr. for a term of up to ten (10) years, attached hereto as Attachment C.
3. Motion to Approve Amendment #1 to Work Authorization #1 – Apron Pavement Rehab at the Wayne Executive Jetport, pending final Division of Aviation approval, and appropriate Budget Amendment, attached hereto as Attachment D.
4. Motion to Approve Change to the Wayne County Conflict of Interest Policy, attached hereto as Attachment E.
5. Motion to Establish a Public Hearing on Tuesday, March 1, 2022 at 9:15 a.m. in the Commissioners Meeting Room in the Wayne County Courthouse Annex, 224 E. Walnut Street, Goldsboro, North Carolina. The purpose of the hearing is to receive public comments regarding a proposed economic development incentive grant to Mt. Olive Pickle Company, Inc, attached hereto as Attachment F.

County Manager's Report

County Manager Craig Honeycutt stated there was not much to update but mentioned the goals and objectives and stated they have begun to work on those. Mr. Honeycutt also stated the meeting with the Municipalities was scheduled for March 1st and was looking forward to it.

Board of Commissioners Committee Reports

Commissioner Barbara Aycock congratulated Mt. Olive Pickle on their expansion. She stated she attended the bridge naming ceremony for Andy Evans in Fremont and was pleased with the turnout and hoped it would bring the family some closure.

Commissioner Antonio Williams had no comment.

Commissioner Freeman Hardison Jr. stated the Covid 19 rate at the hospital is down 17 percent and there are only 28 positive cases. He also stated 99.94 percent of hospital employees have not contracted Covid 19 and recommended vaccination for anyone who has not already been vaccinated. He commended the University of Mount Olive for putting together the economic development strategy for the Town of Mount Olive and surrounding areas within a thirty minute drive time.

Commissioner Chris Gurley stated he had the honor of serving as the Chairman for the MPO and TAC for the County replacing the late Mayor Chuck Allen. He stated they had several projects around the county they are working on. He also discussed meeting with

Commissioner Wayne Aycock, Jay Howell from Code 3 Insurance and VFIS to discuss a cancer policy for firefighters in North Carolina, attached hereto as Attachment G.

Vice-Chairman George Wayne Aycock, Jr. thanked the Fire Marshall, OES and the Fallen Firefighters Association for the outstanding coordination they did on the funeral for Polly Watson Fire Chief James Radford. He commented he was honored to be at the economic development at the University of Mount Olive and thanked the business owners and farmers in the community for being there. He stated he was glad the Mt. Olive Pickle expansion could be done here in Wayne County. He also commented that he sadly missed the Andy Evans Bridge Naming Ceremony but thanked the staff and Commissioner Barbara Aycock for attending.

Chairman Joe Daughtery applauded Economic Development for working with Mt. Olive Pickle for keeping them here. He stated many did not know they had to look outside of Wayne County and North Carolina for expansion due to the ongoing sewer issues. He commented that sewer is important and without the capacity, we cannot attract industry, growth and jobs in Wayne County. He also stated he is looking forward to the March 1st meeting with the municipalities to discuss these issues.

Commissioner Chris Gurley stated having a good working relationship with the State Legislatures is a good to have and looks forward to more working relationships in the future.

County Manager Craig Honeycutt mentioned if it was not for the legislatures and receiving the 23 million dollars for upgrades, Mt. Olive Pickle would not have been in Wayne County.

Work Session with the UNC School of Government

The Board of Commissioners held a work session with UNC School of Government Facilitator, John Stephens. Agenda for the work session is attached hereto as Attachment H.

Adjournment

At 12:21p.m., Chairman Joe Daughtery adjourned the meeting of the Wayne County Board of Commissioners.

Kayla Whitley, Deputy Clerk to the Board
Wayne County Board of Commissioners

WAYNE COUNTY PLANNING DEPARTMENT



WAYNE COUNTY
NORTH CAROLINA

Ph: (919) 731-1650
Fax: (919) 705-1815

MEMORANDUM

To: Wayne County Board of Commissioners

From: Berry Gray, Planning Director

Date: February 22, 2022

Re: Subdivision Street Repairs – Lane Tree Village and Eagle Ridge Subdivisions

WithersRavenel has provided the Wayne County Planning Department with estimated costs to improve streets within Lane Tree Village and Eagle Ridge subdivisions. If the County decides to move forward and at least 75% of the property owners agree, the costs would be paid by the County up-front and paid back by the individual property owners over a ten (10) year period through a special tax assessment.

Please keep in mind that the NC General Statutes require that the streets be repaired/built to NC DOT minimum construction standards and taken over by NC DOT for maintenance after the repairs are made. WithersRavenel has provided estimates on a short term fix but the County runs the risk of the streets not meeting minimum DOT standards at the time DOT is petitioned for maintenance which would be a violation of the policy and the General Statutes. The long term fix would ensure that the streets are built to standards and taken over by NC DOT.

The below breakdown of costs is an estimate for an **all-asphalt rebuild** which is considered a long term fix and addresses all underlying issues. WithersRavenel also estimates that Construction Administration/Observation and Project Management/Mapping would each cost an additional 15% of the construction costs. Those numbers have been included below as well.

All-Asphalt Rebuild (Long Term Fix)*

Lane Tree Village: \$3,785,899.68; with CA/CO and PM **\$4,921,669.58**

Eagle Ridge: \$365,497.80; with CA/CO and PM **\$475,147.14**

* Staff recommendation, to ensure acceptance by NC DOT, is the all-asphalt rebuild (long term) option.



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134 N. JOHN ST.
POST OFFICE BOX 227
GOLDSBORO, NC 27533-0227



Memorandum

February 10, 2022

Berry Gray
Planning Director
Wayne County, North Carolina

RE: Lane Tree Village and Eagle Ridge Subdivisions
WR Project #: 062210838.00

Mr. Gray,
WithersRavenel (WR) staff conducted a survey of the designated street segments of the Lane Tree Village and Eagle Ridge subdivisions. The pavement condition and other Right-of-way (ROW) attributes were observed and noted, as described in the letter from the NCDOT District Engineer, Sam Lawhorn, PE, dated July 22, 2021 and July 19, 2021 respectively. Copies of these letters are attached at the end of this Report.

Observation Highlights

1. Based on observation at potholes in each subdivision, the pavement structure is 1.25 to 1.5 inches of what appears to be surface mix asphalt. No Aggregate Base Course (ABC) Stone or other engineered structure was observed under the asphalt.
2. Areas of moderate and severe alligator cracking were observed throughout each subdivision. Based on the observed pavement distresses (rutting and severe alligator cracking), the pavement structure is insufficient for the vehicle loading throughout each subdivision.
3. Shoulders are in generally acceptable condition with a 6-ft typical width.
4. Residents have patched potholes and pavement edge deterioration with cold patch and concrete.
5. Several brick mailbox structures and fencing encroach within the ROW.
6. Most driveway drainage pipe need cleaning.
7. Significant drainage improvements are needed throughout the Lane Tree Village subdivision.
8. Two streets, McDuffie Place and an unnamed stub intersecting Adler Lane we labeled 'Fairfield Drive Ext.' for planning purposes, are connected to the streets of concern, but were not on the list. These two streets are included in our quantities and calculations.
9. Some streets in the Lane Tree Village subdivision were resurfaced in the past several years. Severe alligator cracking and rutting are already present on these streets.

Methodology

Each street segment, in both subdivisions, was ridden at a slow speed for visual observation by NCDOT-certified Roadway Inspectors. Pavement distresses were identified in accordance with the NCDOT Pavement Condition Survey Training Manual.

As stated in the above-referenced NCDOT letter, each radius was measured, and repair quantities calculated for the stipulated 5-inch asphalt repair.



The inspectors field measured pavement, shoulder and Right-of way widths, and pipe diameters. Drainage locations were walked to determine the extent of needed improvements. Also, utilities in the ROW were identified.

Findings

1. Most of the streets in the Lane Tree Village and Eagle Ridge subdivisions are in NCDOT 'Very Poor' condition. This is the lowest classification in the NCDOT rating system.
2. The streets have insufficient structure for the vehicle loading.
3. The ROW was measured at a location where flags were visible from a recent property boundary survey and found to be approximately 30-feet each side of the roadway centerline.
4. Power, cable, telephone, and natural gas are located within the ROW.
5. Many of the drainage ditches and driveway pipes are at least partially filled. Many instances of standing water were observed.
6. Some residents have placed 16-inch corrugated pipe in the front yard ditch and backfilled. It is unknown if these were permitted prior to construction.
7. Most shoulders are of sufficient width and in good condition.
8. Some residents constructed brick mailbox structures within the ROW.

Conclusions

Most of the streets in Lane Tree Village and Eagle Ridge subdivisions are in NCDOT 'Very Poor' condition. Under typical circumstances these streets are beyond a patch and overlay approach. However, the NCDOT provided Wayne County with specific deficiencies to address and the WithersRavenel team prepared tables quantifying each deficiency on a street segment by segment breakdown.

The quantities and associated Cost Estimate for addressing only the deficiencies defined in the letter from the NCDOT are found in **Table 1** (Lane Tree Village) and **Table 2** (Eagle Ridge). The estimates are based on values from recent projects of similar size.

The estimated cost to meet the deficiencies listed in the NCDOT letter (Patch and Overlay) for the Lane Tree Villages subdivision is \$1,414,265.57. This includes 5-inch patching at each radius, pothole patching (assumed 2.5% of total surface area), 1.5-inch overlay, signage improvements, ROW clearing and drainage issues. The estimated cost for the Eagle Ridge subdivision is \$124,130.67.

Any patch and overlay approach will have a short lifespan, probably in the two-to-five-year range. In some areas the lifespan is likely under a year and may not hold up through the NCDOT transition inspection. Asphalt has a finite life and the asphalt in each of these subdivisions has passed its useful life. Additionally, there is no engineered structure on these streets. A typical residential street is designed with at least seven inches of compacted ABC Stone and two to three inches of surface mix asphalt (\$9.5C).



If Wayne County should choose a longer lasting street rehabilitation approach, they could consider reconstructing each street. While more costly than the Patch and Overly approach, reconstructing the streets would lead to a typical 17-year lifecycle.

The 'All-Asphalt Rebuild' estimated costs of reconstructing these streets are presented in **Table 3** (Lane Tree Village Subdivision) and **Table 4** (Eagle Ridge Subdivision).

1. Lane Tree Village Subdivision - estimated cost for an all-asphalt rebuild is: \$3,785,899.68.
2. Eagle Ridge Subdivision - estimated cost for an all-asphalt rebuild is: \$ 365,497.80.

Note: The all-asphalt approach is more expensive than other construction options but allows maintaining access to the entire neighborhood and driveways at all times. WithersRavenel would be happy to discuss other options with you.

WithersRavenel appreciates the opportunity to assist Wayne County with this important project. If you would like to further discuss this, please advise.

Sincerely,

Ted Kallam, PE
Project Manager

CC: Rob Holland
Steve Lander, PE

Table 1

Lane Tree Village Patch and Overlay							Mobilization 5% (Lump Sum)	Asphalt \$9.5B (Tons)	5-inch Asphalt Patching \$25.0B (Tons)	Clean 15- inch RCP Driveway Pipe (Each)	Clean 15- inch RCP Crossline Culverts (Each)	Clean 24- inch RCP Crossline Culverts (Each)	Clean 50- inch Crossline Culverts (Each)	Clean Drainage Pipe (LF)	Install New Stop Sign including Post (Each)	R/R Existing Stop Sign including Post (Each)	Remove Existing Unapproved Signs (Each)	Remove or Lower Brick Driveway Headwall Structure (Pair)	Remove Brick Mailbox Structure (Each)	Remove Basketball Goal from ROW (Each)	Clear Brush and Shrubs - Sight Distance (SV)	Grade and Contour Drainage Ditches and Shoulder (LF)	R/R Wooden Fence From ROW (LF)	Estimated Repair Cost		
Street	Block	From	To	Length (ft)	Width (ft)	Square Yards	\$67,346	\$109	\$165	\$450	\$750	\$750	\$750	\$10	\$550	\$650	\$250	\$1,500	\$1,500	\$150	\$6.50	\$3.50	\$50			
Adler Lane	600	Salem Church Road	Hounds Run Drive	2280	23	5826.7	1	503	158	26	3							4				4,560	20	\$185,064.08		
Adler Lane	500	Hounds Run Drive	Calloway Court	302	23	771.8		67	11	3												604		\$12,550.24		
Adler Lane	None	Calloway Court	Clay Brook Drive	240	23	613.3		53	9													480		\$8,900.85		
Adler Lane	400	Clay Brook Drive	Lane Ridge Drive	667	23	1704.6		147	25	8	2						1					1,334		\$30,086.95		
Adler Lane	300	Lane Ridge Drive	Fairfield Drive	1170	23	2990.0		258	43	17	1											2,340		\$51,791.64		
Adler Lane	200	Fairfield Drive	McWood Place	477	23	1219.0		105	18	5												954		\$19,940.44		
Adler Lane	100	McWood Place	Putter Drive	680	23	1737.8		150	25	8	1											1,360		\$29,569.08		
Adler Lane	100	Putter Drive	Helms Drive	2139	23	5466.3		471	79	26	4			100								4,278		\$95,028.83		
Adler Lane	100	Helms Drive	Chanery Drive	573	23	1464.3		126	45	6	1											1,146		\$28,660.78		
Lane Tree Drive	300	E. April Drive	Putter Drive	1120	20	2488.9		215	60	11								1				2,240		\$47,552.00		
Lane Tree Drive	200	Putter Drive	Fairfield Drive	1761	20	3913.3		338	56	19								1				3,522		\$68,449.16		
Lane Tree Drive	100	Fairfield Drive	Sable Drive	889	20	1975.6		170	52	13	1							2				1,778		\$43,041.46		
Sable Drive	200	CDs	Lane Ridge Drive	612	20	1867.0		161	27	15	1											1,224		\$33,764.42		
Sable Drive	100	Lane Tree Drive	North Pointe Drive	452	20	1004.4		87	38	3							1					904		\$20,949.45		
Red Oak Drive	100	North Pointe Drive	McDuffie Place	345	20	766.7		66	35	4							1					690		\$17,851.06		
Red Oak Drive	200	McDuffie Place	CDs	122	20	778.1		67	11	5												244		\$12,264.80		
McDuffie Place*	100	Red Oak Place	CDs	225	21	1032.0		89	39	6	1							3				450		\$25,634.87		
Putter Drive	100	Lane Tree Drive	Adler Lane	300	21	700.0		60	58	3	2											600		\$21,111.19		
Lane Ridge Drive	100	Adler Lane	North Pointe Drive	1290	20	2966.7		247	89	20						2		2				2,580		\$63,799.63		
Clay Brook Drive	100	Adler Lane	Hounds Run Drive	1504	20	3342.2		288	72	23	1							1	1			3,008		\$67,936.40		
Clay Brook Drive	200	Hounds Run Drive	Ashworth Drive	480	20	1066.7		92	15	5		1										960		\$18,918.00		
Clay Brook Drive	300	Ashworth Drive	Ashworth Drive	1322	20	2937.8		253	66	8		1		100	2							2,644		\$54,250.83		
Ashworth Drive	None	Salem Church Road	Cliffwell Drive	444	21	1036.0		89	77												78	888		\$26,041.96		
Ashworth Drive	300	Cliffwell Drive	Cliffwell Drive	1807	21	4216.3		364	123	14	1			1491								3,614		\$94,478.42		
Ashworth Drive	200	Cliffwell Drive	Clay Brook Drive	692	21	1614.7		139	23	8	2		1									1,384		\$29,703.67		
Ashworth Drive	100	Clay Brook Drive	Clay Brook Drive	807	21	1883.0		162	51	9	1					1						1,614		\$37,127.79		
Cliffwell Drive	100	Ashworth Drive	Ashworth Drive	2356	21	5497.3		474		21						2		2				4,712		\$81,723.81		
Hounds Run Drive	100	Clay Brook Drive	Adler Lane	1467	21	3423.0		295	97		3					2		2	2			2,934		\$67,838.41		
Calloway Court	100	Adler Lane	CDs	945	21	2712.0		234	63	17					1			1				1,890		\$52,203.72		
Fairfield Drive	100	Adler Lane	Lane Ridge Drive	1160	21	2706.7		233	87	16								2				2,320		\$59,205.93		
Fairfield Drive Ext*	None	Adler Lane	Dead End	103	20	228.9		20	27	2						1						206		\$8,825.74		
Quantities				5.4 miles		69851.0	1.0	6025	1579	321	25	2	1	1691	13	2	1	21	3	0	78	57462	20	\$1,414,265.57		
Cost						\$67,346.00	\$656,686.71	\$260,548.85	\$144,450.00	\$18,750.00	\$1,500.00	\$750.00	\$16,910.00	\$7,150.00	\$1,300.00	\$250.00	\$31,500.00	\$4,500.00	\$0.00	\$507.00	\$201,117.00	\$1,000.00	\$1,414,265.57			
* Not on List																										

* Not on List

Table 2

Eagle Ridge Patch and Overlay							Mobilization 5% (Lump Sum)	Asphalt \$9.58 (Tons)	5-inch Asphalt Patching 825.0B (Tons)	Clean 15- inch RCP Driveway Pipe (Each)	Clean 15- inch RCP Crossline Culverts (Each)	Clean 24- inch RCP Crossline Culverts (Each)	Clean 50- inch Crossline Culverts (Each)	Clean Drainage Pipe (LF)	Install New Stop Sign including Post (Each)	R/R Existing Stop Sign including Post (Each)	Remove Existing Unapproved Signs (Each)	Remove or Lower Brick Driveway Headwall Structure (Each)	Remove Wooden Bridge (Each)	Remove Basketball Goal from ROW (Each)	Clear Brush and Shrubs - Sight Distance (SY)	Grade and Contour Drainage Ditches and Shoulder (LF)	R/R Wooden Fence From ROW (LF)	Estimated Repair Cost
Street	Block	From	To	Length (ft)	Width (ft)	Square Yards	\$5,911	\$109	\$165	\$450	\$750	\$750	\$750	\$10	\$550	\$650	\$250	\$1,500	\$750	\$150	\$6.50	\$3.50	\$50	
Eagle Ridge Drive	100	Pecan Road	Sunrise Drive	781	17	1597.2	1	138	23	3	1								1		67	1,562		\$33,467.80
Eagle Ridge Drive	100	Sunrise Drive	CDS	1091	17	2567.8		221	37	13	0									2		2,182		\$44,017.77
Sunrise Drive	100	Eagle Ridge Drive	CDS	1073	18	2653.0		229	38	13					1			1				2,146		\$46,645.10
Quantities				0.8 Miles		6818.0	1.0	588	98	29	1	0	0	0	1	0	0	1	1	2	67	5890	0	\$124,130.67
Cost							\$5,911.00	\$64,097.72	\$16,171.44	\$13,050.00	\$750.00	\$0.00	\$0.00	\$0.00	\$550.00	\$0.00	\$0.00	\$1,500.00	\$750.00	\$300.00	\$435.50	\$20,615.00	\$0.00	\$124,130.67

Table 3

Lane Tree Village Rebuild							Mobilization 5% (Lump Sum)	Asphalt \$9.5B (Tons)	5-inch Asphalt B25.0B (Tons)	Milling 6.5- inch (SY)	Clean 15- inch RCP Driveway Pipe (Each)	Clean 15- inch RCP Crossline Culverts (Each)	Clean 24- inch RCP Crossline Culverts (Each)	Clean 50- inch Crossline Culverts (Each)	Clean Drainage Pipe (LF)	Install New Stop Sign including Post (Each)	R/R Existing Stop Sign including Post (Each)	Remove Existing Unapproved Signs (Each)	Remove or Lower Brick Driveway Headwall Structure (Pair)	Remove Brick Mailbox Structure (Each)	Remove Basketball Goal from ROW (Each)	Clear Brush and Shrubs - Sight Distance (SY)	Grade and Contour Drainage Ditches and Shoulder (LF)	R/R Wooden Fence From ROW (LF)	Estimated Repair Cost
Street	Block	From	To	Length (ft)	Width (ft)	Square Yards	\$180,281	\$109	\$109	\$4.75	\$450	\$750	\$750	\$750	\$10	\$550	\$650	\$250	\$1,500	\$1,500	\$150	\$6.50	\$3.50	\$50	
Adler Lane	600	Salem Church Road	Hounds Run Drive	2280	23	5826.7	1	503	1675	5827	26	3							4				4,560	20	\$482,238.78
Adler Lane	500	Hounds Run Drive	Calloway Court	302	23	771.8		67	222	772	3												604		\$38,571.21
Adler Lane	None	Calloway Court	Clay Brook Drive	240	23	613.3		53	176	613													480		\$29,579.77
Adler Lane	400	Clay Brook Drive	Lane Ridge Drive	667	23	1704.6		147	490	1705	8	2						1					1,334		\$87,557.10
Adler Lane	300	Lane Ridge Drive	Fairfield Drive	1170	23	2990.0		258	860	2990	17	1											2,340		\$152,601.36
Adler Lane	200	Fairfield Drive	McWood Place	477	23	1219.0		105	350	1219	5												954		\$61,039.79
Adler Lane	100	McWood Place	Putter Drive	680	23	1737.8		150	500	1738	8	1											1,360		\$88,159.34
Adler Lane	100	Putter Drive	Helms Drive	2139	23	5466.3		471	1572	5466	26	4			100								4,278		\$279,329.67
Adler Lane	100	Helms Drive	Chancery Drive	573	23	1464.3		126	421	1464	6	1											1,146		\$74,071.69
Lane Tree Drive	300	E. April Drive	Putter Drive	1120	20	2488.9		215	716	2489	11								1				2,240		\$127,506.44
Lane Tree Drive	200	Putter Drive	Fairfield Drive	1761	20	3913.3		338	1125	3913	19												3,522		\$200,389.64
Lane Tree Drive	100	Fairfield Drive	Sable Drive	889	20	1975.6		170	568	1976	13	1						2					1,778		\$105,688.55
Sable Drive	200	CDS	Lane Ridge Drive	612	20	1867.0		161	537	1867	15	1											1,224		\$96,711.50
Sable Drive	100	Lane Tree Drive	North Pointe Drive	452	20	1004.4		87	289	1004	3						1						904		\$50,854.92
Red Oak Drive	100	North Pointe Drive	McDuffie Place	345	20	766.7		66	220	767	4						1						690		\$39,739.71
Red Oak Drive	200	McDuffie Place	CDS	122	20	778.1		67	224	778	5												244		\$38,499.30
McDuffie Place*	100	Red Oak Place	CDS	225	21	1032.0		89	297	1032	6	1							3				450		\$56,469.39
Putter Drive	100	Lane Tree Drive	Adler Drive	300	21	700.0		60	201	700	3	2											600		\$36,792.13
Lane Ridge Drive	100	Adler Drive	North Pointe Drive	1290	20	2866.7		247	824	2867	20					2			2				2,580		\$152,531.08
Clay Brook Drive	100	Adler Drive	Hounds Run Drive	1504	20	3342.2		288	961	3342	23	1							1	1			3,008		\$176,661.51
Clay Brook Drive	200	Hounds Run Drive	Ashworth Drive	480	20	1066.7		92	307	1067	5		1										960		\$54,881.33
Clay Brook Drive	300	Ashworth Drive	Ashworth Drive	1322	20	2937.8		253	845	2938	8		1		100	2							2,644		\$149,339.84
Ashworth Drive	None	Salem Church Road	Cliffwell Drive	444	21	1036.0		89	298	1036												78	888		\$50,741.35
Ashworth Drive	300	Cliffwell Drive	Cliffwell Drive	1807	21	4216.3		364	1212	4216	14	1			1491								3,614		\$226,404.73
Ashworth Drive	200	Cliffwell Drive	Clay Brook Drive	692	21	1614.7		139	464	1615	8			1									1,384		\$82,643.17
Ashworth Drive	100	Clay Brook Drive	Clay Brook Drive	807	21	1883.0		162	541	1883	9	1				1							1,614		\$96,654.32
Cliffwell Drive	100	Ashworth Drive	Ashworth Drive	2356	21	5497.3		474	1580	5497	21					2			2				4,712		\$280,108.82
Hounds Run Drive	100	Clay Brook Drive	Adler Drive	1467	21	3423.0		295	984	3423		3				2			2	2			2,934		\$175,326.99
Calloway Court	100	Adler Drive	CDS	945	21	2712.0		234	780	2712	17					1							1,890		\$139,680.49
Fairfield Drive	100	Adler Drive	Lane Ridge Drive	1160	21	2706.7		233	778	2707	16						2		2				2,320		\$142,542.88
Fairfield Drive Ext*	None	Adler Drive	Dead End	103	20	228.9		20	66	229	2					1							206		\$12,582.87
Quantities				5.4 miles			1.0	6025	20082	69851	321	23	2	1	1691	13	2	1	21	3	0	78	57462	20	\$3,785,899.68
Cost							\$180,281.00	\$656,686.71	\$2,188,955.71	\$331,792.25	\$144,450.00	\$17,250.00	\$1,500.00	\$750.00	\$16,910.00	\$7,150.00	\$1,300.00	\$250.00	\$31,500.00	\$4,500.00	\$0.00	\$507.00	\$201,117.00	\$1,000.00	\$3,785,899.68

* Not on List

Table 4

Eagle Ridge Rebuild							Mobilization 5% (Lump Sum)	Asphalt \$9.58 (Tons)	5-inch Asphalt Patching \$25.08 (Tons)	Milling 6.5- inch (\$Y)	Clean 15- inch RCP Driveway Pipe (Each)	Clean 15- inch RCP Crossline Culverts (Each)	Clean 24- inch RCP Crossline Culverts (Each)	Clean 50- inch Crossline Culverts (Each)	Clean Drainage Pipe (LF)	Install New Stop Sign including Post (Each)	R/R Existing Stop Sign including Post (Each)	Remove Existing Unapproved Signs (Each)	Remove or Lower Brick Driveway Headwall Structure (Each)	Remove Wooden Bridge (Each)	Remove Basketball Goal from ROW (Each)	Clear Brush and Shrubs - Sight Distance (\$Y)	Grade and Contour Drainage Ditches and Shoulder (LF)	R/R Wooden Fence From ROW (LF)		
Street	Block	From	To	Length (ft)	Width (ft)	Square Yards	\$17,405	\$109	\$109	\$4.75	\$450	\$750	\$750	\$750	\$10	\$550	\$650	\$250	\$1,500	\$750	\$150	\$6.50	\$3.50	\$50	Estimated Repair Cost	
Eagle Ridge Drive	100	Pecan Road	Sunrise Drive	781	17	1597.2	1	138	459	1597	2	1								1		67	1,562		\$98,813.14	
Eagle Ridge Drive	100	Sunrise Drive	CDS	1091	17	2567.8			221	738	2568	13	0								2		2,182		\$130,592.00	
Sunrise Drive	100	Eagle Ridge Drive	CDS	1073	18	2653.0			229	763	2653	13				1			1				2,146		\$136,092.65	
Quantities				0.6 Miles		6818.0	1.0	588	1960	6818	29	1	0	0	0	1	0	0	0	1	1	2	67	5890	0	\$365,497.80
Cost						\$17,405.00	\$64,097.72	\$213,659.08	\$32,385.50	\$13,050.00	\$750.00	\$0.00	\$0.00	\$0.00	\$0.00	\$550.00	\$0.00	\$0.00	\$1,500.00	\$750.00	\$300.00	\$435.50	\$20,615.00	\$0.00	\$365,497.80	



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

July 22, 2021

J. ERIC BOYETTE
SECRETARY

Berry Gray
Wayne County Planning
PO Box 227
Goldsboro, NC 27533

SUBJECT: Lane Tree Village
Adler Lane (SR 1491), Lane Tree Drive(SR1495), Putter Drive, Fairland Drive, Red Oak Drive,
Sable Drive, Lane Ridge Drive, Callaway Court, Hounds Run Drive, Claybrook Drive, Ashworth
Wayne County
Buck Swamp Township

Dear Mr. Gray:

In response to your request, an investigation has been conducted on the subject subdivision. While the street system was found to serve a sufficient number of homes, the street system was not found to be in an acceptable state of maintenance, therefore the street system may not be added at this time. Please find attached for your convenience the discrepancies noted during the investigation.

Please submit to this office a copy of R/W Encroachment Agreement Forms and plans (showing existing facilities) in accordance with General Statute 136-102.6. These agreements are required of all utilities present before the streets can be accepted for State Maintenance.

The attached additions/corrections should be made within **90 days** and it shall be the responsibility of the property owner/developer to notify this office when all items are completed. A field meeting with your contractor is recommended prior to attempting any repairs. It shall be the responsibility of the developer, contractor, or property owners to obtain any permits required from any government agency in order to complete the repairs.

If you have any questions or need additional assistance, please contact Chris Overman or myself at 919-739-5300.

Sincerely,

DocuSigned by:

ED17CEP1D2B44B2
Sam Lawhorn, PE
District Engineer

SCL/cbo

Attachments

cc: Subdivision File

Petition Requirements

1. Clean out all driveway pipes that are not 100% open and insure positive drainage.
2. Clean out all cross line culverts that are not 100% open and insure positive drainage.
3. The entire roadway shall be resurfaced with a 1.5" overlay of S-9.5B after repairing all radii, potholes, and sinkholes with 5" of B-25.0B.
4. A standard 'STOP' sign shall be placed at each street intersection. The sign shall be 30" x 30" in size; be made of high intensity material; be mounted alone on a 4" x 4" wooden post or other approved break a-way material and have a vertical clearance of 7 feet. The sign shall be 6 - 12 feet from the edges of pavements.
5. All "CHILDREN PLAYING," "COMMUNITY WATCH" and any other unapproved signs shall be removed.
6. Driveway headwalls are only allowed to be 3 inches above the final driveway grade within the right-of-way. Please remove or lower all driveway headwalls that do not meet this specification.
7. Remove any debris, trees, large shrubs, large decorative stones, bricks, stakes, brick mailboxes, vehicles, basketball goals, etc. from within the right-of-way.
8. Any drainage system within the right-of-way shall have an encroachment agreement and be built in accordance with current NCDOT standards.
9. The drainage easements shall be clear of any debris, fences, structures, etc.
10. All drainage structures, frames, grate, manholes, etc. shall be built in accordance with current NCDOT standards and specifications.
11. All mailboxes shall be placed such that no part of the mailbox extends past the edge of pavement. Bricks, pavers, decorative stones, etc. are not permissible.
12. Cut down any high weeds, shrubbery, trees, etc. within the right-of-way, open space and drainage easements.
13. Please submit to this office, a copy of the recorded plat, available at the county Register of Deeds office.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

July 19, 2021

J. ERIC BOYETTE
SECRETARY

Berry Gray
Wayne County Planning
PO Box 227
Goldsboro, NC 27533

SUBJECT: Eagle Ridge
Subdivision Identification Number: S-4309603013
Eagle Ridge and Sunrise Drive
Wayne County
Brogden Township

Dear Mr. Gray:

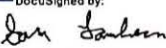
In response to your request, an investigation has been conducted on the subject subdivision. While the street system was found to serve a sufficient number of homes, the street system was not found to be in an acceptable state of maintenance, therefore the street system may not be added at this time. Please find attached for your convenience the discrepancies noted during the investigation.

Please submit to this office five copies of R/W Encroachment Agreement Forms and plans (showing existing facilities) in accordance with General Statute 136-102.6. These agreements are required of all utilities present before the streets can be accepted for State Maintenance.

The attached additions/corrections should be made within **90 days** and it shall be the responsibility of the property owner/developer to notify this office when all items are completed. A field meeting with your contractor is recommended prior to attempting any repairs. It shall be the responsibility of the developer, contractor, or property owners to obtain any permits required from any government agency in order to complete the repairs.

If you have any questions or need additional assistance, please contact Chris Overman or myself at 919-739-5300.

Sincerely,

DocuSigned by:

ED17CED1D2B44B2...

Sam Lawhorn, PE
District Engineer

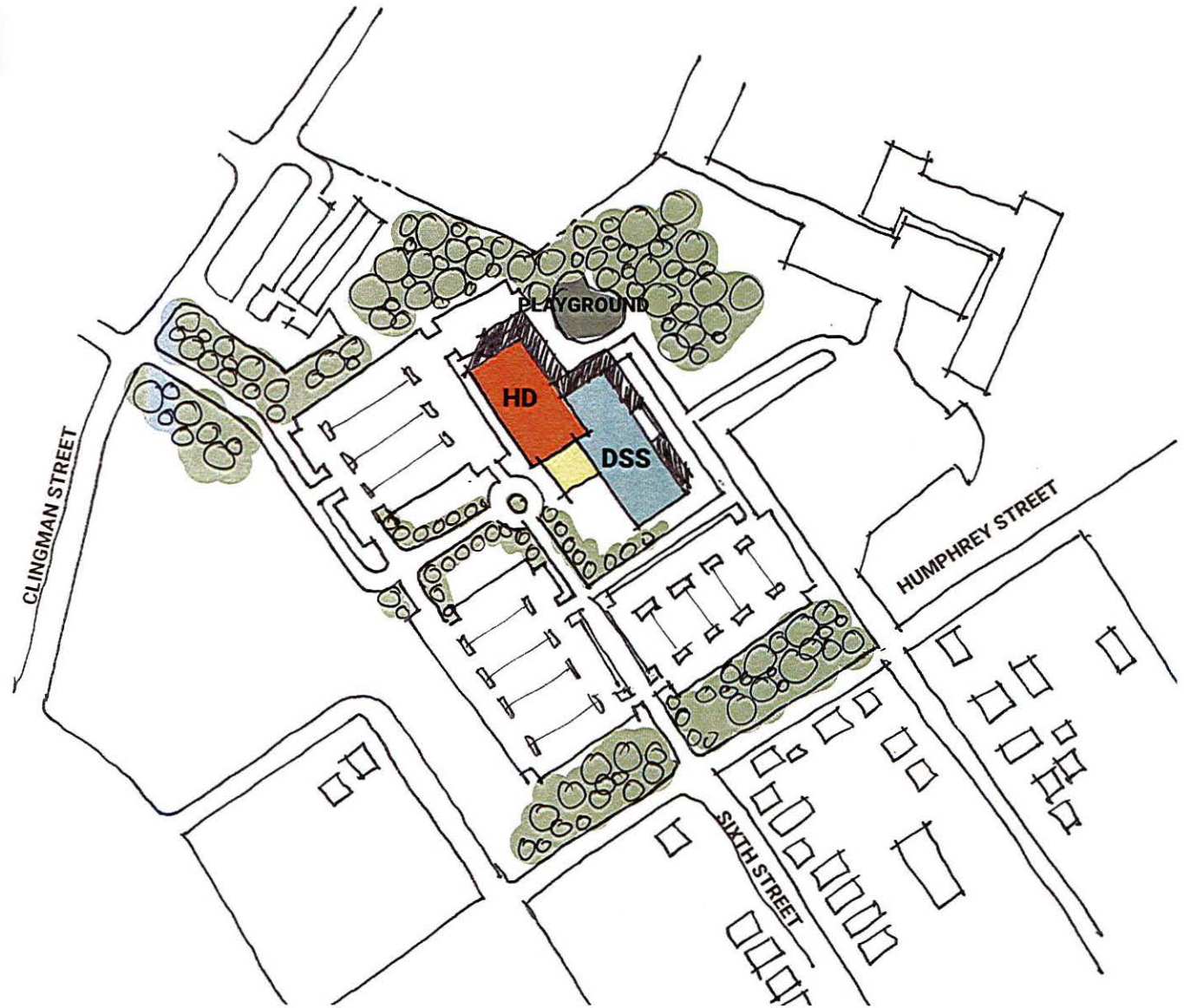
SCL/cbo
Attachments

cc: Subdivision File

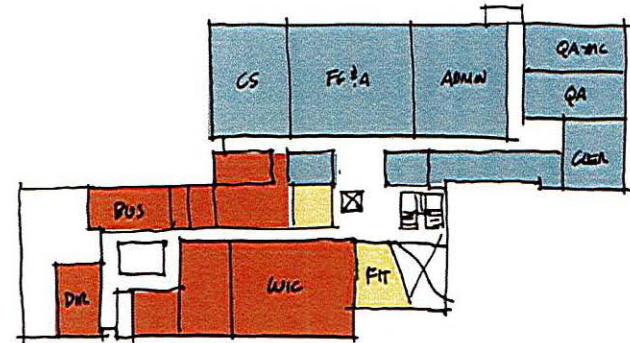
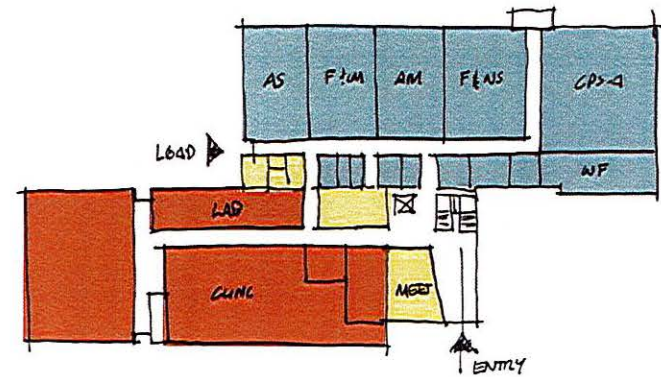
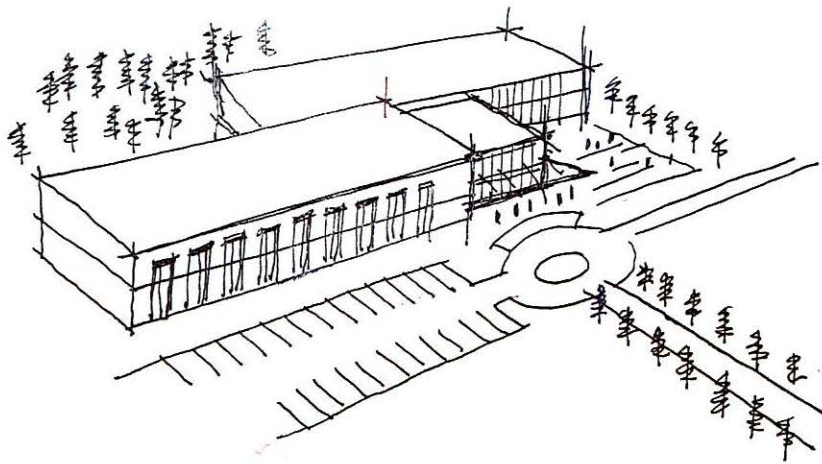
Petition Requirements

1. Clean out all driveway pipes that are not 100% open and insure positive drainage.
2. Clean out all cross line culverts that are not 100% open and insure positive drainage.
3. Replace all plastic and/or metal driveway pipes and culverts with reinforced concrete pipe or provide a minimum of 12" of cover.
4. All pavement radii shall be a minimum of 25 feet unless otherwise noted on the approved plans. Radii repairs shall be made using a minimum pavement design of 5" of B-25.0B and 1" of SF-9.5A.
5. The entire roadway shall be resurfaced with a 1" overlay of SF-9.5A after repairing all radii, potholes, and sinkholes with 5" of B-25.0B.
6. A standard 'STOP' sign shall be placed at each street intersection. The sign shall be 30" x 30" in size; be made of high intensity material; be mounted alone on a 4" x 4" wooden post or other approved break a-way material and have a vertical clearance of 7 feet. The sign shall be 6 - 12 feet from the edges of pavements.
7. Remove any debris, trees, large shrubs, large decorative stones, bricks, stakes, brick mailboxes, vehicles, basketball goals, etc. from within the right-of-way.
8. Remove any grass, rocks, etc. from within the roadway.
9. Cut down any high shoulders so as to establish positive drainage off the roadway and establish permanent vegetation in these areas.
10. Insure that all driveway pipes are laid at the correct grade so as to insure positive drainage.
11. Insure that all driveway pipes have adequate cover.
12. Cut down any high weeds, shrubbery, trees, etc. within the right-of-way, open space and drainage easements.
13. Please submit to this office a copy of the recorded plat, available at the county Register of Deeds office.

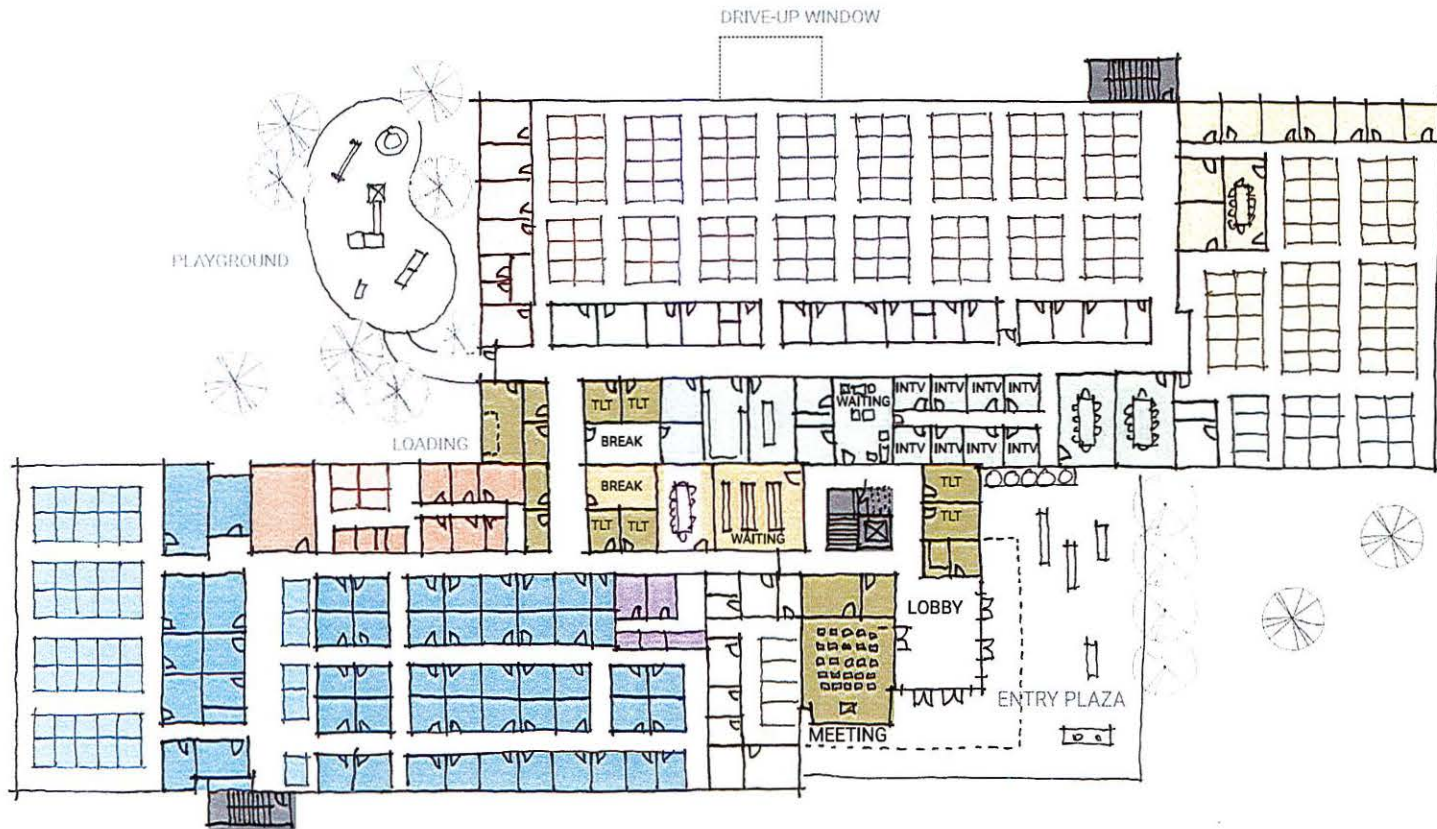
OPTION 5A



OPTION 5A



FLOOR PLANS



DEPT OF SOCIAL SERVICES

- ADULT SERVICES
- FAMILY + CHILDREN'S MEDICAID
- ECONOMIC SERVICES
- ADULT MEDICAID
- FOOD + NUTRITION SERVICES
- CHILD PROTECTIVE SERVICES
- ASSESSMENT
- WORKFIRST DAYCARE
- TRANSPORTATION
- SHARED

HEALTH DEPARTMENT

- CLINICS
- LABORATORY
- PATIENT ACCOUNT SERVICES
- BILLING
- SHARED

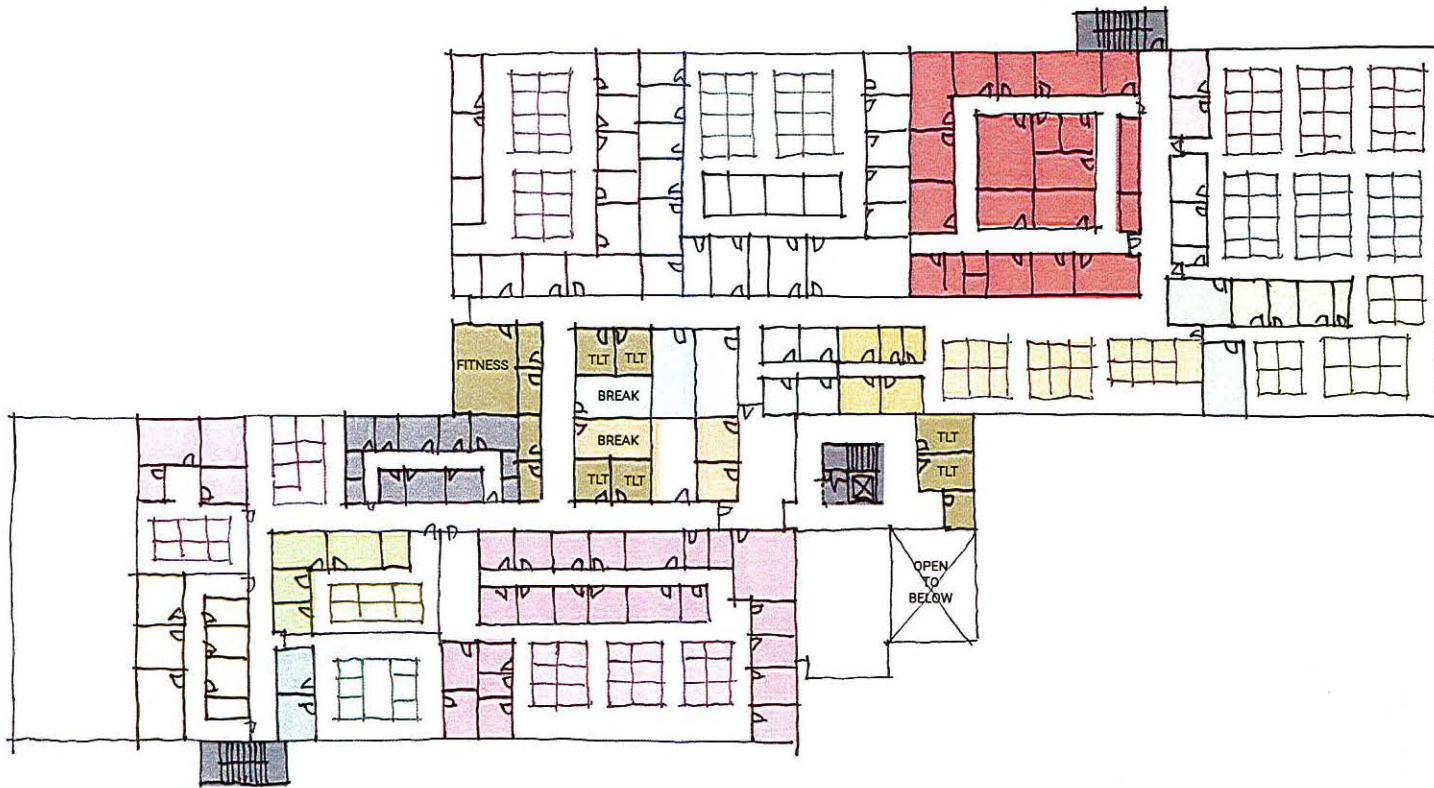
SHARED SPACES

- BUILDING SHARED
- STAIRS/ELEVATOR

FIRST FLOOR PLAN

Scale: 1/32" = 1'-0"

FLOOR PLANS



SECOND FLOOR PLAN

Scale: 1/32" = 1'-0"

DEPT OF SOCIAL SERVICES

- CHILD SUPPORT
- FOSTER CARE + ADOPTION
- ADMINISTRATION
- QUALITY ASSURANCE - IMC
- ECONOMIC SERVICES - QA
- CLERICAL
- CPS - IN HOME SERVICES
- SHARED

HEALTH DEPARTMENT

- WIC
- CMHRP + CMARC
- HEALTH EDUCATION
- DIRECTOR
- BUSINESS OFFICE/INTERPRETERS
- REGISTRATION
- SHARED

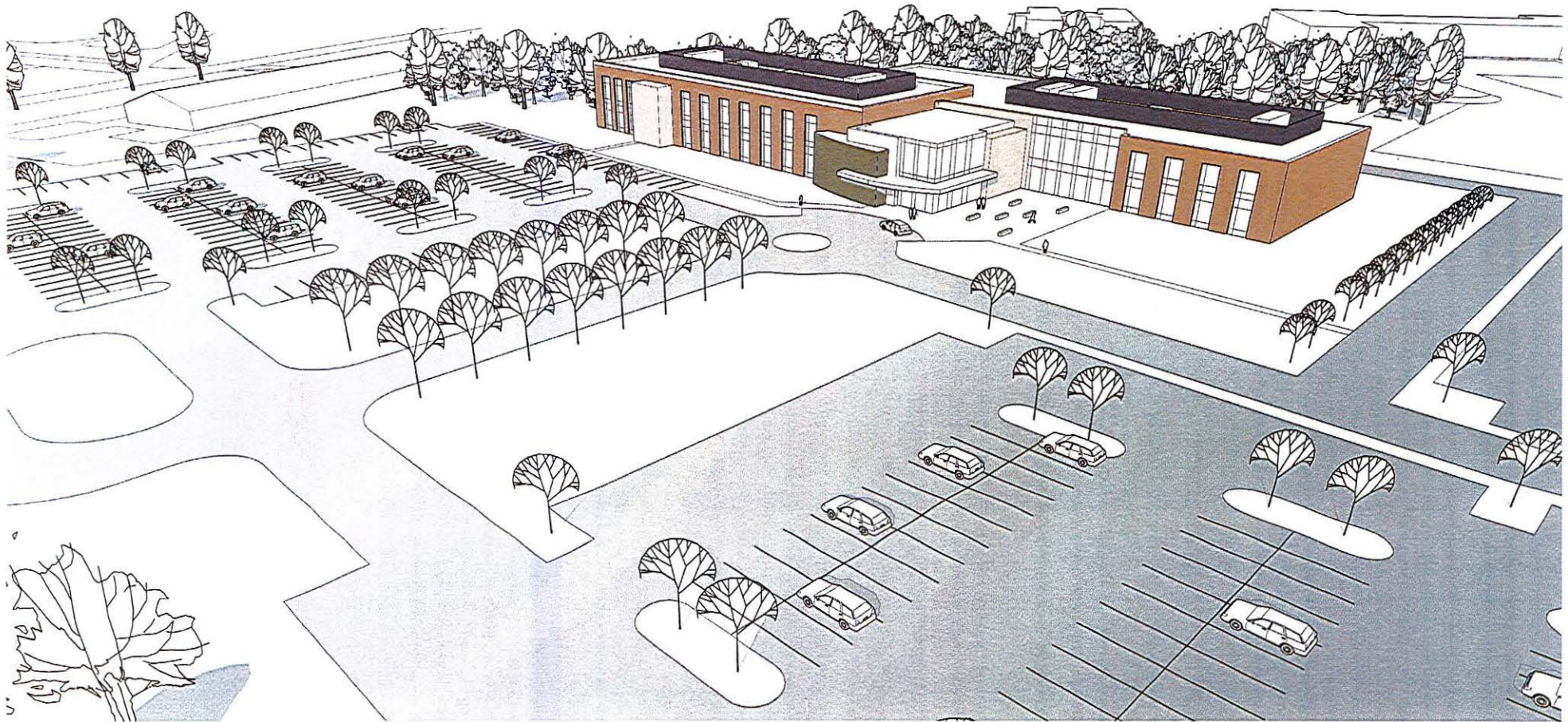
SHARED SPACES

- BUILDING SHARED
- STAIRS/ELEVATOR

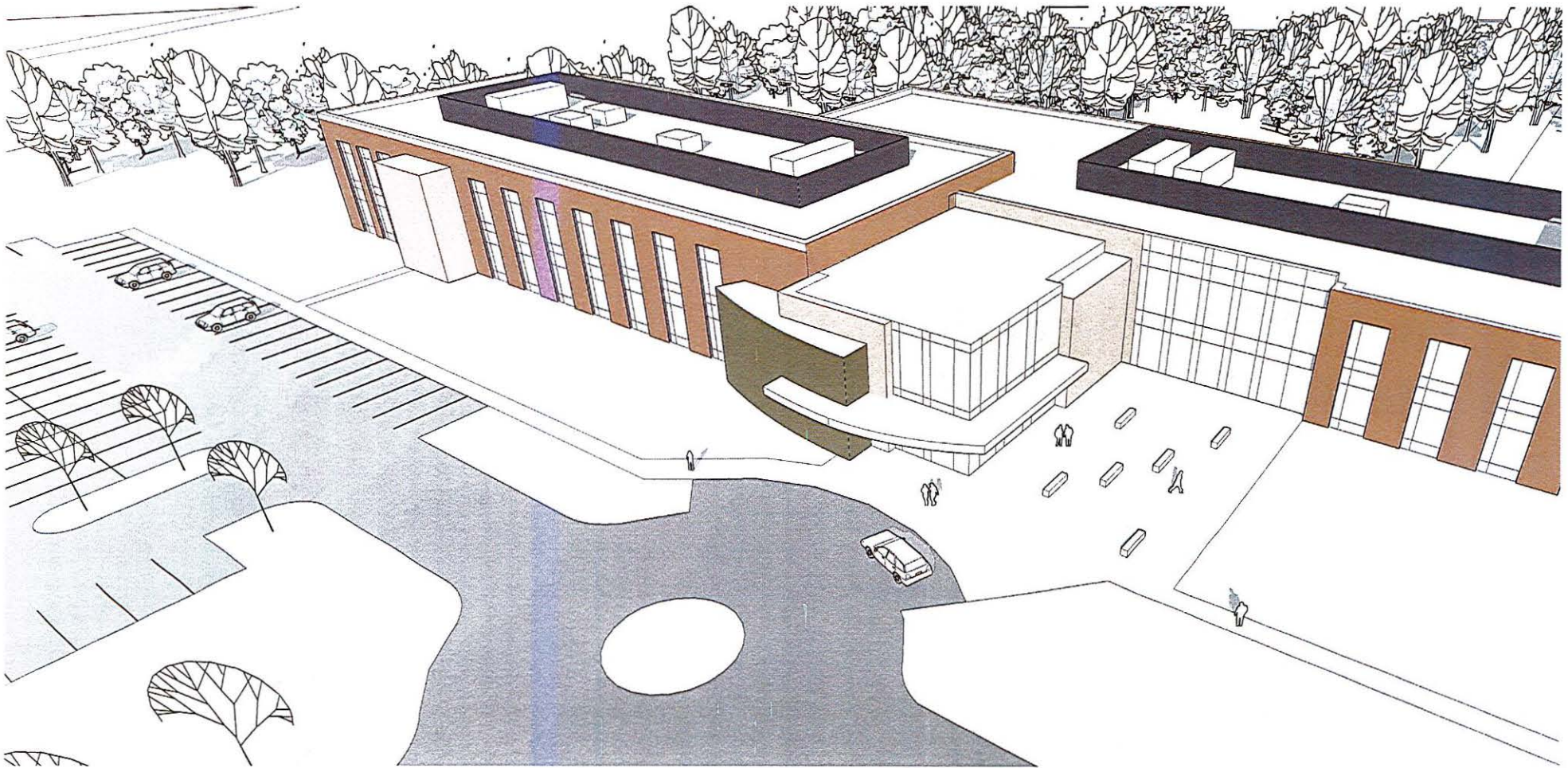
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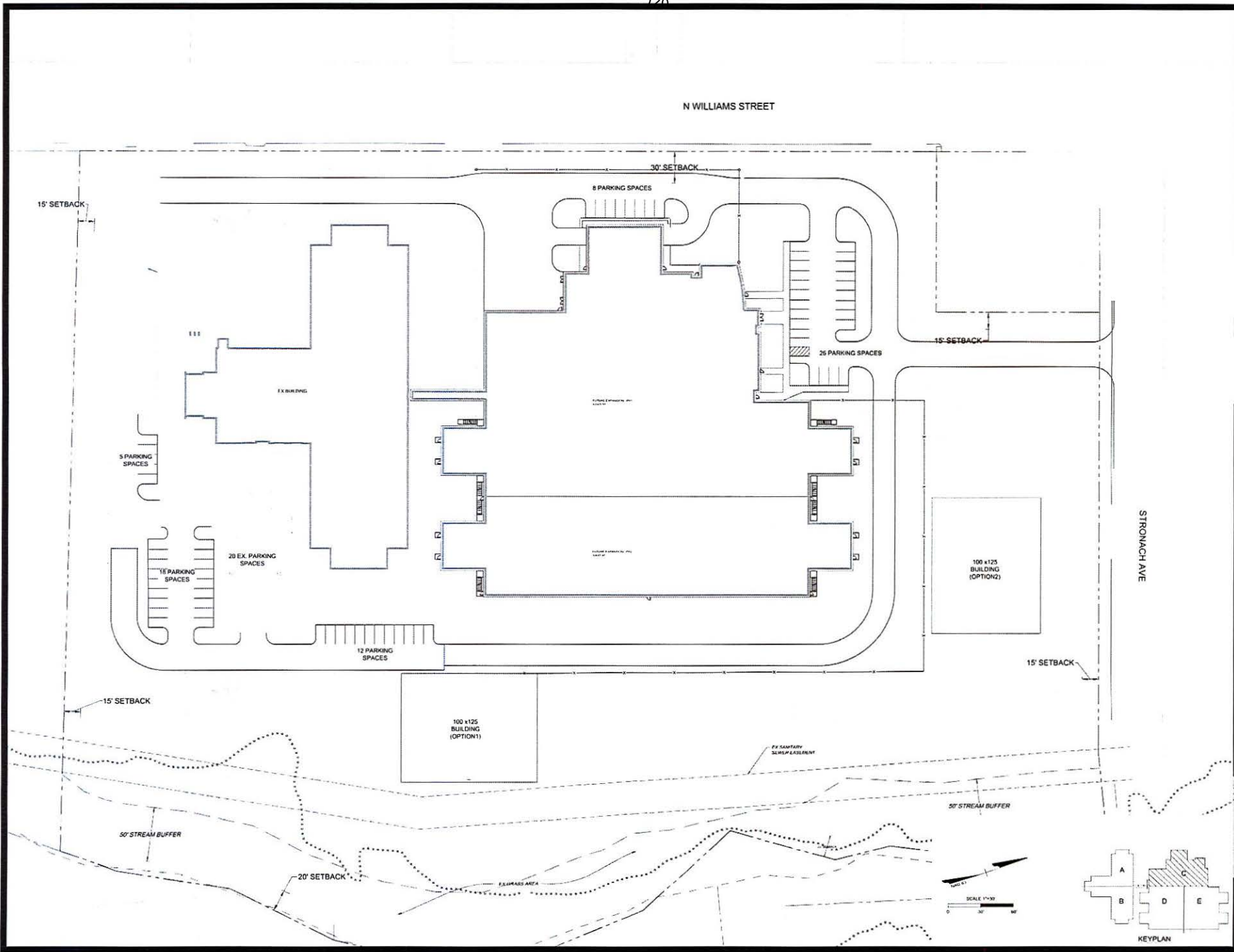


AERIAL VIEW



AERIAL VIEW





MOSELEYARCHITECTS

300 N. WILKINSON STREET, SUITE 200, WILKINSON, NC 27690
PHONE: 800.741.1555 FAX: 800.353.5660
MOSELEYARCHITECTS.COM



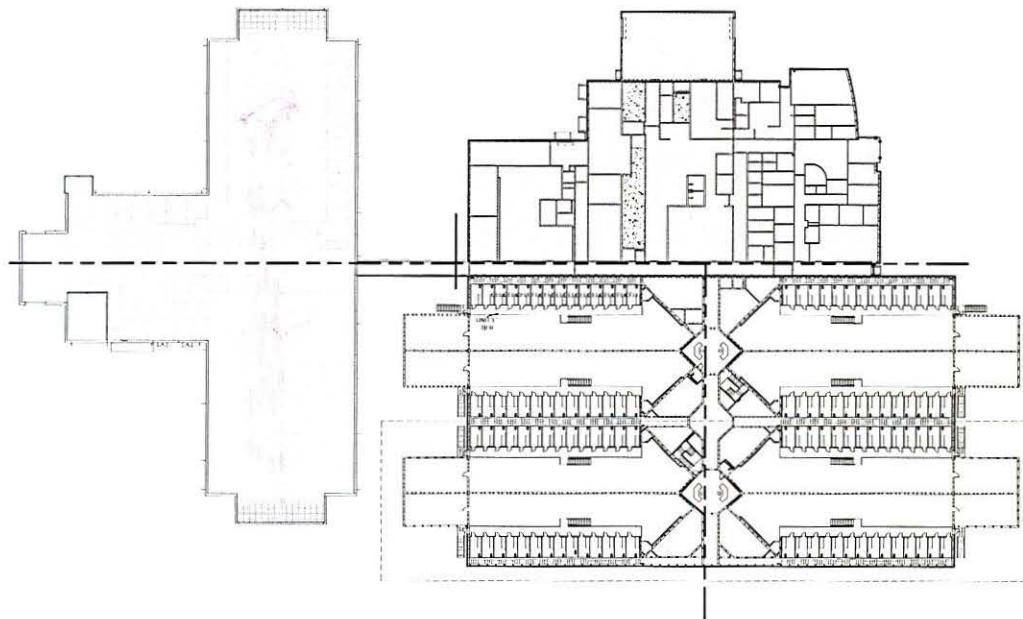
WAYNE COUNTY REPLACEMENT JAIL

WAYNE COUNTY, NORTH CAROLINA
1016 N WILLIAM ST GOLDSBORO, NC 27530

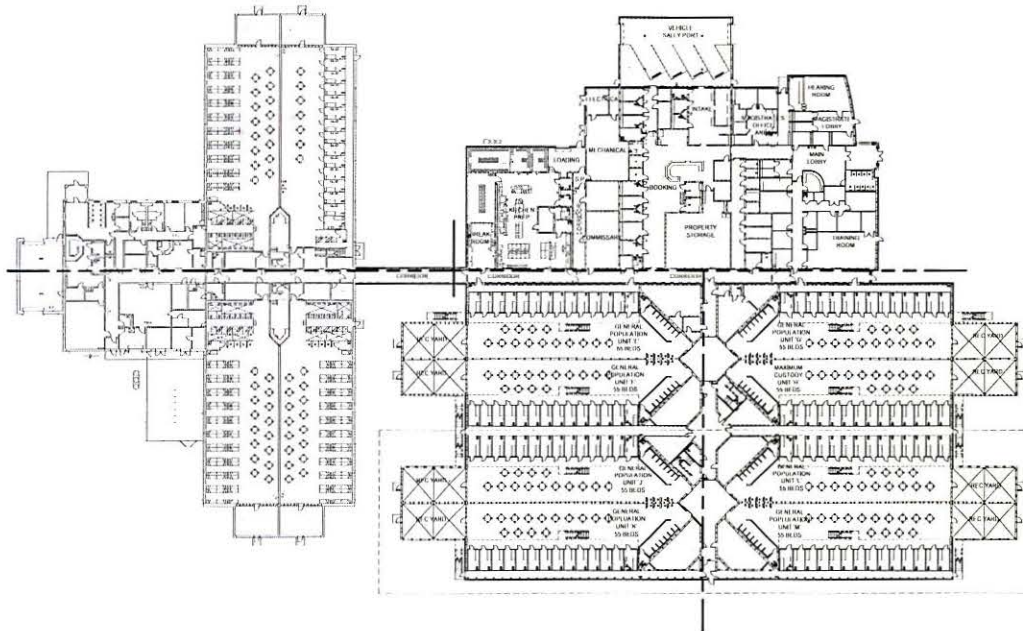
SITE PLAN

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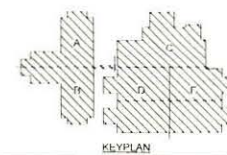
OVERALL FLOOR PLAN - TIER LEVEL



OVERALL FLOOR PLAN

ALTERNATE
NO. 1

ALTERNATE
NO. 1



MOSELEYARCHITECTS

1011 ASHLEY AVENUE, SUITE 200, CHARLOTTE, NC 28202
PHONE: 704.445.1111 FAX: 704.445.1112
WWW.MOSELEYARCHITECTS.COM

PROGRESS
PRINTING NOT
FOR
CONSTRUCTION

WAYNE COUNTY REPLACEMENT JAIL

WAYNE COUNTY, NORTH CAROLINA
1016 N WILLIAM ST GOLDSBORO, NC 27530

PROJECT NO.	1000000000
DATE	10/10/2019
BY	10/10/2019
DATE	10/10/2019

OVERALL FLOOR
PLANS

A2.0

2/10/2022 2:45:17 PM



MOSELEYARCHITECTS
8274 ROBERT KILL ROAD, SUITE 100, WILMINGTON, NORTH CAROLINA 28403
PHONE: 704.840.1515 FAX: 704.840.1516
WWW.MOSELEYARCHITECTS.COM

PROGRESS
PRINTING NOT
FOR
CONSTRUCTION

WAYNE COUNTY REPLACEMENT JAIL
WAYNE COUNTY, NORTH CAROLINA
1016 N WILLIAM ST GOLDSBORO, NC 27530

PROJECT NO.	10000000
DATE	11/01/2021
BY	MOSELEYARCHITECTS
DATE	11/01/2021

BUILDING ELEVATIONS

A4.1

NOTICE OF PUBLIC HEARING
NORTH CAROLINA
WAYNE COUNTY

Notice is hereby given the Wayne County Board of Commissioners will hold a public hearing on Tuesday, March 1, 2022 at 9:15 a.m. in the Commissioners Meeting Room in the Wayne County Courthouse Annex, 224 E. Walnut St., Goldsboro, NC. The purpose of the public hearing is to receive public comments regarding a proposed economic development incentive grant to Mt. Olive Pickle Company, Inc. The Board of Commissioners will consider a \$600,000 incentive grant payable over ten (10) years in exchange for the company's commitment to invest \$45,500,000 in capital improvements and to create 167 jobs in Wayne County.

All interested parties are invited to attend this public hearing and be heard. Written comments may be made in advance to the following:

Carol Bowden, Clerk to the Board
Wayne County Board of Commissioners
P.O. Box 227
Goldsboro, NC 27533-0227
919-731-1445
carol.bowden@waynegov.com

This the 18th day of February, 2022.

Carol Bowden
Wayne County Clerk to the Board

STATE OF NORTH CAROLINA
COUNTY OF WAYNE

ECONOMIC DEVELOPMENT AGREEMENT

This AGREEMENT is executed this _____ day of _____ 2022, by and between Mount Olive Pickle Company, Inc., headquartered at One Cucumber Boulevard, Mount Olive, NC 28365, a corporation authorized to do business in the state of North Carolina (hereinafter "Mount Olive Pickle Company, Inc."), and Wayne County a political subdivision of the State of North Carolina, having its principal place of business at 224 E. Walnut Street, Goldsboro, NC 27530 (hereinafter the "County") and the City of Goldsboro a political subdivision of the State of North Carolina, having a principal place of business at 200 North Center Street, Goldsboro, NC 27530 (hereinafter the "City").

WITNESSETH:

WHEREAS, Mount Olive Pickle Company, Inc. desires to expand its operations including the purchase of facilities located in Goldsboro, Wayne County North Carolina and install certain machinery and equipment, representing a total non-depreciated investment of at least Forty-Five Million Five Hundred Thousand Dollars (\$45,500,000) in personal and real property and the creation of one hundred sixty-seven (167) new jobs ("Qualified Jobs") at those facilities. Those defined investments include ten million dollars (\$10,000,000) in real property and thirty-five million five hundred thousand (\$35,500,000) in personal property and to create at least One Hundred Sixty-Seven (167) new jobs with an anticipated average annual salary of \$41,437 at these facilities on or before December 31, 2026, with incremental achievement goals starting December 31, 2022; and

WHEREAS, Mount Olive Pickle Company, Inc. shall incur certain costs related to the purchase of these facilities, located at 402 Commerce Court, Goldsboro, NC 27534 and 1200 W. Ash Street, Goldsboro, NC 27530, and for installation of these improvements; and

WHEREAS, the addition of these improvements will expand the County and City tax base through increased ad valorem tax value created as a consequence of capital investment in real property and machinery and equipment being brought into the County and City; and

WHEREAS, the County and City recognize that increased ad valorem tax revenues will be generated as a consequence of this business venture and investment, and that a grant by the County and the City would be an incentive for such investment by Mount Olive Pickle Company, Inc. to assist the same pay a portion of the costs of the investment, and that such incentives be designated as an "Economic Development Grant" to Mount Olive Pickle Company, Inc. in the amount of One Million Two Hundred Thousand Dollars (\$1,200,000); and

WHEREAS, Mount Olive Pickle Company, Inc.'s expansion in Goldsboro depends in part on the support of the County and City in terms of incentives, including, but not limited to, adequate water and wastewater infrastructure and financial grants; and

WHEREAS, the parties hereto wish to reduce their understanding regarding the details of the Economic Development Grant and Mount Olive Pickle Company, Inc. performance to this Agreement;

NOW, THEREFORE, for the mutual considerations noted hereinafter, the sufficiency of which are hereby acknowledged, the parties do hereby contract and agree as follows:

I. Economic Development Incentives.

As an incentive for Mount Olive Pickle Company, Inc. to invest in purchasing facilities, machinery and equipment, and in order to provide those incentives in accordance with Article 1, Chapter 158 of the North Carolina General Statutes (the "Local Development Act"), the parties agree to the incentives set forth herein in accordance with the terms and conditions of this Agreement. Mount Olive Pickle Company, Inc. will incur costs in purchasing facilities and adding machinery and equipment to such facilities, and the County and City will realize economic benefits due to the expansion of the ad valorem tax base. The County and City shall provide an Economic Development Grant to Mount Olive Pickle Company, Inc. with an expected value of \$1,200,000, with such a grant to be made available to Mount Olive Pickle Company, Inc. as set forth in Exhibit A.

- A. The County and City shall pay to Mount Olive Pickle Company, Inc. in installments a total grant of \$1,200,000, as shown on and in accordance with terms and conditions described in Exhibit A to this Agreement (the "**County and City Performance Grant**").
- B. The City agrees to use its best efforts to issue to Mount Olive Pickle Company, Inc. a significant industrial user permit for water and wastewater ("Permit") consistent with Mount Olive Pickle Company, Inc.'s planned demand; provided, however, the Permit shall comply with all applicable City ordinances and per WithersRavenal's cost estimate to upgrade the pretreatment system located on Ash Street. The parties acknowledge that the Permit is subject to various approvals from the N.C. Department of Environmental Quality ("DEQ") that are beyond the City's control. Therefore, the City does not warrant or guarantee that a Permit will be issued. City and County acknowledge that Mount Olive Pickle Company, Inc. will not be able to locate its operations in Goldsboro without an acceptable Permit. Therefore, City agrees to use its best efforts, to apply for and issue Mount Olive Pickle Company a significant industrial user permit for water and sewer, to the fullest extent allowed by applicable law, and to cooperate with Mount Olive Pickle Company, Inc. in supporting the planned usage.
- C. Furthermore, Mount Olive Pickle Company, Inc. will apply for a DEQ permit under the National Pollutant Discharge Elimination System ("NPDES") for noncontact cooling water discharge. If the NPDES permit is not approved, then the City and County acknowledge that the scope of Mount Olive Pickle Company, Inc.'s facility upgrades and employment plans will be significantly reduced unless the City can accept additional wastewater to accommodate the noncontact cooling water flow. Therefore, if the NPDES permit is not approved by DEQ, or Mount Olive Pickle Company, Inc. is not successful in finding other reasonable alternative means to address the noncontact cooling water discharge, then the City will use its best efforts to increase its capacity to take the increased flow of noncontact cooling water; provided, however, the City does not guarantee that it will be able to accept the increased flow.

- D. The City and County agree to do all things reasonably necessary to facilitate the use of twenty-two million dollars (\$22,000,000) provided by the State of North Carolina and designated for use by the Wayne County Development Alliance for the exclusive support of Project Butter. Furthermore, City and County agree that the twenty-two million dollars (\$22,000,000) is intended primarily to fund the upgrade and improvements to the City's wastewater treatment system in a way designed to accommodate Mount Olive Pickle Company, Inc.'s plans and will take all actions reasonably necessary to ensure such use.
- E. The City acknowledges the following key dates with regard to the Permit and furthermore agrees to use its best efforts to ensure Mount Olive Pickle Company, Inc. can operate as set forth below:
1. City will be able to accept wastewater discharge of 150,000 gallons/day by April 1, 2023,
 2. City will be able to accept wastewater discharge of 300,000 gallons/day by May 1, 2025,
 3. As part of the wastewater requirements, City will be able to accept chloride discharge levels as submitted to the City in the Permit application and as approved by DEQ, and
 4. Separate water and wastewater meters for Mount Olive Pickle Company, Inc.'s Goldsboro operations will be funded from the money provided by the State of North Carolina for Project Butter and designated for use by the Wayne County Development Alliance.
- F. Mount Olive Pickle Company, Inc. agrees that if it fails to create the number of Qualified Jobs set forth on Exhibit A and maintain the Qualified Jobs through December 31, 2031, the County and City may recapture certain sums paid pursuant to the County and City Performance Grant. Specifically, Mount Olive Pickle Company, Inc. shall return, no later than December 31, 2032, to County and City, respectively, an amount equal to the percentage of the County and City Performance Grant that Mount Olive Pickle Company, Inc. received for job creation for any year where the Qualified Jobs numbers set forth on Exhibit A are not met.

II. Representations.

The County and City represent and warrant that (a) they have the power and authority to bind themselves to the requirements of this Agreement and (b) this Agreement is executed under the authority granted to the County and City under the Local Development Act. The County and City represent and warrant that all expenditures made by them and actions taken, individually or collectively, as provided in this Agreement are for a bona fide public purpose

and are expended in good faith reliance on the Local Development Act.

If the representations made pursuant to this Section II are challenged or threatened to be challenged, (i) the County and/or City promptly will notify Mount Olive Pickle Company, Inc. in writing, (ii) Mount Olive Pickle Company, Inc. will have the right to participate in the defense of any challenge at its own expense and with counsel of its choosing, and (iii) the County and City may, in their respective governing boards' sole discretion, defend this Agreement from those challenges.

III. Miscellaneous Provisions.

- A. Independent Agreement. This Agreement and the conditions hereof only relate to the provisions and grants from the County and City set forth herein and do not limit or affect other commitments made by the County and City, the State of North Carolina, or other entities. This Agreement and the incentives set forth herein are contingent upon the WCDA receiving the funding from Project Butter from the State of North Carolina for use in the expansion of the utility infrastructure as discussed hereinabove.
- B. Governing Law. This Agreement has been drafted and shall be interpreted under the laws of the State of North Carolina and in the event any provision is found by a court of competent jurisdiction to be unenforceable or unconstitutional, all other provisions shall remain in full force and effect.
- C. Binding Agreement. The parties hereto acknowledge that this Agreement and the foregoing actions and grants each represent binding contractual agreements among the parties hereto and that Mount Olive Pickle Company, Inc. is acting in reliance upon this Agreement and the provisions and grants provided herein in its decision as to whether it will expand its investment in Goldsboro/Wayne County, North Carolina.
- D. Assignment. This Agreement shall be assignable by Mount Olive Pickle Company, Inc. to any entity that is controlled by controls or under common control with Mount Olive Pickle Company, Inc. or in the case of a sale of substantially all of the operating assets of the facility, this Agreement may be assigned to the purchaser of the facility so long as the purchaser complies with this Agreement.
- E. Survival. The contractual commitments provided for herein and made by the parties hereto shall be deemed to continue into the future, survive, and remain binding upon future elected officials fully permitted under applicable law.
- F. Force Majeure. Mount Olive Pickle Company, Inc. shall not assume any responsibility for any event or failure to act that is due to any cause in whole or in part that is beyond Mount Olive Pickle Company, Inc. control, even if advised of same, foreseeable or in contemplation of the parties, including without limitation force majeure, the public enemy, fire, flood, earthquake, hurricane, strike or labor disputes, boycott, the inability to obtain raw materials, labor or transportation, the loss of any public or private supplied utilities, the regulations issued by any government or any of its agencies, acts of God, or

any other cause similar or dissimilar to the foregoing.

- G. Entire Agreement. This writing contains the entire agreement between the parties hereto and may be amended only by writing signed by all parties hereto.
- H. Limitation. No provision of this Agreement shall be construed or interpreted as creating a pledge of the faith and credit of the County or City within the meaning of any constitutional debt limitation. No provision of this Agreement shall be construed or interpreted neither as delegating governmental powers nor as a donation or a lending of the credit of the County or City within the meaning of the State Constitution. No provision of this Agreement shall be construed to pledge or to create a lien on any class or source of the County's or City's moneys, nor shall any provision of the Agreement restrict to any extent prohibited by law, any action or right of action on the part of any future County or City governing body. To the extent of any conflict between this paragraph and any other provisions of this Agreement, this paragraph shall take priority.

Signature Page to Follow

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the day and year first above written.

WAYNE COUNTY

Attest:

Joe Daughtery, Chairman
Wayne County Board of Commissioners

Carol Bowden, Clerk to the Board

This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act.

BY: _____
Allison Speight, Finance Director

CITY OF GOLDSBORO

Attest:

David Ham, Mayor
City of Goldsboro

Laura Getz , Goldsboro City Clerk

This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act.

BY: _____
Catherine Gwynn, Finance Director

Mount Olive Pickle Company, Inc.

Attest:

By: _____

Secretary

Title: _____

EXHIBIT A

Performance Goals

Year	Annual Job Increase (minimum)	Total Jobs in County and City (minimum as of 12.31.22)	Non Depreciated Capital Investment Increase (minimum)	Capital Investment Cumulative Totals (minimum)	County Grant Annual New Increment (maximum)	County Grant Payment Year (Amount attributed to prior year achievement)	City Grant Annual New Increment (maximum)	City Grant Payment Year (Amount attributed to prior year achievement)
2022	24	24	\$10,500,000	\$10,500,000	\$40,000	\$ - 0 -	\$40,000	\$ - 0 -
2023	0	24	\$ - 0 -	\$ - 0 -	\$40,000	\$40,000	\$40,000	\$40,000
2024	95	119	\$35,000,000	\$35,000,000	\$50,000	\$40,000	\$50,000	\$40,000
2025	0	119	\$ - 0 -	\$ - 0 -	\$50,000	\$50,000	\$50,000	\$50,000
2026	48	167	\$ - 0 -	\$ - 0 -	\$50,000	\$50,000	\$50,000	\$50,000
2027	-	-	\$ - 0 -	\$ - 0 -	\$50,000	\$50,000	\$50,000	\$50,000
2028	-	-	\$ - 0 -	\$ - 0 -	\$85,000	\$50,000	\$85,000	\$50,000
2029	-	-	\$ - 0 -	\$ - 0 -	\$85,000	\$85,000	\$85,000	\$85,000
2030	-	-	\$ - 0 -	\$ - 0 -	\$75,000	\$85,000	\$75,000	\$85,000
2031	-	-	\$ - 0 -	\$ - 0 -	\$75,000	\$75,000	\$75,000	\$75,000
2032	-	-	\$-0-	\$-0-	-0-	\$75,000		\$75,000
Totals	167	167	\$45,500,000	\$45,500,000	\$600,000	\$600,000	\$600,000	\$600,000

Calculation Methodology:

Mount Olive Pickle Company, Inc. performance against the job creation, job maintenance, and the capital investment goals shall be reviewed by the County and City after submission by Mount Olive Pickle Company, Inc. before September of each year, beginning in CY 2023 for performance year 2022. The total amount of capital investment and job increases as of January 1st of that year shall be calculated; the total for each shall be expressed as a percentage of the respective total projected goal. The average of the two percentages shall be the achievement percentage of capital investment and job creation and the grant funds that shall be actually awarded in and for each calendar year based on that achievement, subject to the County and City Grant Annual New increment maximum and the following. Should the average percentage of the cumulative projected goal capital investment and job increase be less than 100% as of January 1st of any given year, the County and City shall accrue the amount of funds budgeted but unearned and such funds shall be paid out in the first year Mount Olive Pickle Company, Inc. attains in a given year at least 100% of its cumulative projected goals, in addition to paying the new increment amount of funds budgeted for that year. The payments by the County and City, should Mount Olive Pickle Company, Inc. be current in all tax payments for that fiscal year and to the extent provided above that performance goals be met, shall be made by September 30th of each year beginning in 2023, for calendar year 2022. This grant shall expire on December 31, 2032. For clarification, if Mount Olive Pickle Company, Inc. does not submit performance data for a year before September of the normal review year, the funds budgeted will accrue and be reviewed by the County and City during the review year following Mt. Olive Pickle Company, Inc. submission, but not after December 31, 2032 (that is, when the grant expires).

Example of Calculation Methodology:

	A	B	C	D	E
Year	Annual Job Increase Goal (minimum)	Total Jobs Increase Cumulative Goal	Total Jobs Increase Cumulative Attained (% = C/B)	Capital Investment Cumulative Totals Goal	Actual Investment Cumulative Totals (%=E/D)
2022	24	24	16 (67%)	\$10,500,000	\$8,505,000 (81%)
2023	0	24	8 (100%)	\$-0-	\$1,995,000 (100%)
2024	95	119	95 (100%)	\$35,000,000	\$35,000,000 (100%)
2025	0	119	0 (100%)	\$-0-	\$-0-
2026	48	167	167 (100%)	\$-0-	\$-0-
2027	N/A	N/A	N/A	N/A	N/A
Totals	167	167	167 (100%)	\$45,500,000	\$45,500,000 (100%)

Year 2023

(For calendar year 2022)

Average % attained = $(67\% [\text{Jobs}] + 81\% [\text{Investment}]) \div 2 = 74\%$

Amount due from County payable by September 30, 2023, = $.74 \times \$40,000 = \$29,600$

Amount unearned and being accrued $\$40,000 - \$29,600 = \$10,400$

Amount due from the City payable by September 30, 2023 = $.74 \times \$40,000 = \$29,600$

Amount unearned and being accrued $\$40,000 - \$29,600 = \$10,400$

Year 2024

(For calendar year 2023)

Average % attained = $(100\% [\text{Jobs}] + 100\% [\text{Investment}]) \div 2 = 100\%$

Amount due from County payable by September 30, 2024, = $1.00 \times \$40,000 = \$40,000$

2023 Accruals now earned and also due from County payable by

September 30, 2024, = $\$10,400$

Total due from County payable by September 30, 2024, = $\$40,000 + \$10,400 = \$50,400$

Amount due from City payable by September 30, 2024, = $1.00 \times \$40,000 = \$40,000$

2023 Accruals now earned and also due from County payable by

September 30, 2024, = $\$10,400$

Total due from City payable by September 30, 2024, = $\$40,000 + \$10,400 = \$50,400$

Year 2025

(For calendar year 2024)

Average % attained = $(100\% [\text{Jobs}] + 100\% [\text{Investment}]) \div 2 = 100\%$

Amount due from County payable by September 30, 2025, = $1.00[\text{cap}] \times \$50,000 = \$50,000$

Amount due from City payable by September 30, 2025, = $1.00[\text{cap}] \times \$50,000 = \$50,000$

Definitions:

“Capital Investment” shall be the ad valorem tax value of the property located in the County and City that is owned by Mount Olive Pickle Company, Inc. its affiliates, or financing entities where Mount Olive Pickle Company, Inc. or its affiliates maintain operational control of the property. Any disputes as to the calculation of Capital Investment shall be subject to mediation between senior executives of the applicable parties, or if such mediation is not successful by an action at law or in equity with venue being in a court of competent jurisdiction in Wayne County, North Carolina.

“Budget” unless otherwise agreed in this Agreement, the County and City shall approve a budget for the specific grant amount offered to Mount Olive Pickle Company, Inc. by July 1st of each year that the respective grant is offered, for payment by the agreed-upon date.



WAYNE COUNTY
COUNTY OF WAYNE, MICHIGAN

County of Wayne Budget Amendment Fiscal Year 2021-2022

#300

Department: Cooperative Extension 4-H
Approved By: Kevin Johnson
Date: 2/9/2022

EXPENDITURE Code Number	Project	String	Description	Decrease	Increase
1175805.523100			Special Prog Material-Fees Donations		1,128.60

REVENUE Code Number	Description	Increase	Decrease
1175801.349580	4HFEEES	\$ 1,128.60	
Totals		\$ 1,128.60	\$ -

2. Reason(s) for the above request is/are as follows:

Donation given for Shooting Sports club program materials

Endorsement

1. Forward, recommending approval/disapproval

Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners

Department Head Signature

Allison W. Speight

Allison Speight, County Finance Director

2-14 2022

Craig Honeycutt County Manager & Budget Officer

2022

Chairman Board of Commissioners

2022

MEMORANDUM

To: County Commissioners / Craig Honevour

From: Cooperative Extension

Kevin Johnson

Date: 2/9/2022

Re: Budget Amendment Request

Purpose of Budget Amendment Request:

We are requesting that \$1,128.60 be appropriated to the Special Program Material-Fees Donation line item from 4-H Fees Revenue. A donation was given by the NRA to help buy program supplies for our 4-H Shooting Sports Club. Appropriation needed so that program supplies can be bought.

County of Wayne
Budget Amendments

301

02/09/22

Date

Memorandum

From: Sheriff Larry Pierce
To: Wayne County Board of Commissioners
Via: County Manager & Finance Officer
Subject: Budget Amendment for Fiscal Year 2021-2022

1. It is requested that the budget for Sheriff's Office be amended as follows:

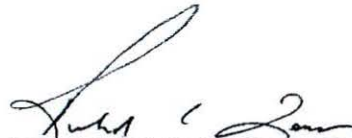
EXPENDITURE

Code Number	Description/Object of Expenditure	Decrease	Increase
1104310 523100 Shrff	Special Program Material - Sheriff's Fund	\$	66.00

REVENUE

Code Number	Source of Revenue	Increase	Decrease
1104310 383300 ShDon	Donations - Sheriff's fund	\$ 66.00	

2. Reason(s) for the above request is/are as follows:


Department Head Signature
Feb 9 2022

Endorsement

1. Forward, recommending approval/disapproval

2-14 2022

County Finance Officer

Endorsement

1. Forwarded, recommending approval/disapproval

2022

County Manager & Budget Officer

Date of approval/disapproval by B.O.C.

Chairman Board of Commissioners

Office of the Sheriff

SHERIFF
LARRY M. PIERCE



P.O. Box 1877
207 E. Chestnut St.
Goldsboro, NC 27533
(919) 731-1481 Office
(919) 731-1699 Fax

Date: February 9, 2022

To: Wayne County Board of Commissioners

From: Sheriff Larry Pierce *Larry Pierce for Sheriff Pierce Feb 9, 2022*

Re: Budget Amendment Request

The purpose of this budget amendment is to appropriate funds received in the 2021-2022 fiscal year from sale of ads on the Wayne County Sheriff's Office Law Enforcement Calendar and public donations to utilize for the sheriff's office needs.



County of Wayne
Budget Amendment
Fiscal Year 2021-2022

#317

Department: Wayne County Services on Aging
Approved By: Paula J. Edwards, Director
Date: 2/17/2022

EXPENDITURE						
Code Number	Project	String	Description		Decrease	Increase
1165605 512100			Salaries & Wages	\$	12,726.00	
1165606 551000			Capital Outlay-Equipment			\$ 12,726.00

REVENUE						
Code Number		Description		Increase	Decrease	
			\$	-		
Totals			\$	12,726.00	\$	12,726.00

2. Reason(s) for the above request is/are as follows:
of replacing Creston AV Equipment in Senior Center.

reallocate
To reappropriate unspent HCCBG Funds to cover cost

Endorsement

1. Forward, recommending approval/disapproval

Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners

Paula J. Edwards
Department Head Signature

Allison W. Spelght
Allison Spelght, County Finance Director
2-21 2022

Craig Honeycutt
Craig Honeycutt, County Manager & Budget Officer
2022

Chairman Board of Commissioners
2022

Memo

To: Wayne County Board of Commissioners

From: Paula J. Edwards, Director of Services on Aging 

Date: February 17, 2022

Re: Budget Amendment for HCCBG Funds/Creston Audio Visual Equipment

- reallocate* ■ **The Budget Amendment for HCCBG Capital Outlay- Equipment (Creston AV Equip)** – This BA is to ~~re-appropriate~~ the Home and Community Care Block Grant (HCCBG) funds from the Information and Options' (5605) Salaries & Wages line item to Senior Center Operations (5606) Capital Outlay-Equipment line item. These line items are supported by the HCCBG Funds and the required ten percent (10%) County Match. We receive non-unit reimbursement for the 5605 line items. This position was vacant from mid-August, 2021 until February 13, 2022. This vacant position was recently filled on February 14, 2022. However, during this time, the HCCBG funds were not spent due to the vacancy. Any unspent HCCBG funds would be returned to the funding source at the end of the Fiscal Year. I am asking to move some of the unspent HCCBG funds from this line item and place them into Senior Center Operations to help cover the expense of replacing the Creston Audio Visual Equipment in the Senior Center. The re-appropriation of \$12,726 is in addition to the remaining funds needed to subsidize the recent \$31,579 increase in HCCBG Funds for FY21/22. If approved, it will be applied to the \$44,305 needed for the Creston AV Equipment. The \$12,726 includes the 10% County Match of \$3,509 needed for the \$31,579 additional funds. Wayne County funded the Information and Options Counselor position over the required 10% match. Therefore, the additional County Funds that is currently allotted for this position will be used to cover the required match for the incoming HCCBG funding increase.
- Please refer to the Budget Amendment Memo for **Additional HCCBG Funds** with an increase of \$31,579 for further information on the need to replace and upgrade the existing Creston AV equipment.



County of Wayne
Budget Amendment
Fiscal Year 2021-2022

318

Department: Wayne County Services on Aging
Approved By: Paula J. Edwards, Director
Date: 2/17/2022

EXPENDITURE	Project	String	Description	Decrease	Increase
Code Number 1165606 551000			Capital Outlay-Equipment		\$ 31,579.00

REVENUE	Description	Increase	Decrease
Code Number 1165606 335000	ECC-HCCBG Funds	\$ 31,579.00	
Totals		\$ 31,579.00	\$ 31,579.00

2. Reason(s) for the above request is/are as follows:

To appropriate an increase in the HCCBG Funds allocated for the 2021/22 FY. These funds will be used to cover cost of replacing old and failing Creston AV Equipment.

Paula J. Edwards
Department Head Signature

Endorsement

1. Forward, recommending approval/disapproval

Allison W. Speight
Allison Speight, County Finance Director

Endorsement

2. Forward, recommending approval/disapproval

2-21-2022
Craig Honeycutt
Craig Honeycutt County Manager & Budget Officer
2022

3. Approval/Disapproval by Chairman Board of Commissioners

Chairman Board of Commissioners
2022

Memo

To: Wayne County Board of Commissioners

From: Paula J. Edwards, Director of Services on Aging



Date: February 17, 2022

Re: Budget Amendment for Additional HCCBG Funds

-
- **The Budget Amendment for Additional HCCBG** – This BA is to allocate funds from the Home Care and Community Block Grant (HCCBG) FY 2021/2022. This Fiscal Year the grant received an increase of \$31,579. I am requesting that the additional HCCBG Funds be placed into Senior Center Operations Capital Outlay-Equipment line item to help cover cost of the Crestron Audio Visual Equipment. The equipment will be ten years old this summer. The system has been running nonstop since installation. It is beginning to show its age and is experiencing some major hardware issues that require us to upgrade the system. When it was first installed, it cost over \$90,000. Fortunately, the infrastructure to the system does not need replacing. To replace and upgrade the equipment, it will cost \$44,305.

This system is used daily to run the day to day operations of the Senior Center. It controls our PA System, TV's, large screens, projectors, ability to connect laptops to various TV's and screens to do trainings, presentations, and programs. We use it to show weekly movies, for Drama Presentations, and it is used in the Computer Lab for instruction during Computer Classes from Wayne Community College for seniors. It is also used for announcements, to display information and resources on a rolling bulletin that can show throughout the Senior Center. Replacing this system will allow us to continue with our day to day activities and programming.

NCDAAS has stated that this is an allowable cost. Paula has submitted an Acquisition/Improvement application with justification to ECCAA and to NCDAAS for approval. Attached is a copy of the application sent to the NCDAAS for approval. In this attachment, there is additional information on the Crestron AV Equipment.



County of Wayne
Budget Amendment
Fiscal Year 2021-2022

#321

Department: Wayne County Services on Aging
Approved By: Paula J. Edwards, Director
Date: 2/17/2022

EXPENDITURE	Project	String	Description	Decrease	Increase
Code Number					
1165605 518300			Hospitalization Contribution	\$ 5,325.00	
1165606 522000			Food and Provisions		\$ 5,325.00

REVENUE	Description	Increase	Decrease
Code Number			
		\$ -	

Totals \$ 5,325.00 \$ 5,325.00

2. Reason(s) for the above request is/are as follows:

reallocate
To appropriate HCCBG Funds to cover costs for special events, programs, trainings, and activities for seniors.

Endorsement

1. Forward, recommending approval/disapproval

Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners

Paula J. Edwards
Department Head Signature

Allison W. Speight
Allison Speight, County Finance Director

Craig Honeycutt
Craig Honeycutt County Manager & Budget Officer
2022

Chairman Board of Commissioners
2022

Memo

To: Wayne County Board of Commissioners

From: Paula J. Edwards, Director of Services on Aging 

Date: February 17, 2022

Re: Budget Amendments for Hospitalization Contribution/Senior Center Opts

■ **The Budget Amendment for HCCBG Hospitalization Contribution/SC Opts Food and Provisions**

~~9/10/21~~
This BA for \$5,325 is to re-appropriate the Home and Community Care Block Grant (HCCBG) funds from the Information and Options' (5605) Hospitalization line item to Senior Center Opts (5606) Food and Provisions line item. This line item is supported by the HCCBG Funds and the required ten percent (10%) County Match. We receive non-unit reimbursement for the 5605 line items. This position was vacant from mid-August, 2021 until February 13, 2022. This vacant position was recently filled on February 14, 2022. However, during this time, the HCCBG funds were not spent due to the vacancy. The new employee has opted out of Hospitalization Insurance. Any unspent HCCBG funds would be returned to the funding source at the end of the Fiscal Year. I am asking to move some of the unspent HCCBG funds from this line item and place them into Senior Center Operations. Food and Provisions is used to cover food costs for special events (i.e. Volunteer Appreciation), programs, coffee station supplies, trainings, etc. for seniors.



**County of Wayne
Budget Amendment
Fiscal Year 2021-2022**

\$ 322

Department: Wayne County Services on Aging
 Approved By: Paula J. Edwards, Director
 Date: 2/17/2022

EXPENDITURE

Code Number	Project	String	Description	Decrease	Increase
1165611 512600			Salary & Wages-Extra Help		\$ 5,010.00
1165611 518000			Social Security - FICA		\$ 311.00
1165611 518100			Social Security - Medicare		\$ 73.00
1165611 518600			Worker's Comp		\$ 200.00
1165611 523100			Program Supplies		\$ 500.00
1165611 531100			Travel, Meals & Lodging		\$ 100.00

REVENUE

Code Number	Description	Increase	Decrease
1165611 335000	Senior Health Insurance Information Program/MIPPA	\$ 6,194.00	

Totals **\$ 6,194.00 \$ 6,194.00**

2. Reason(s) for the above request is/are as follows:

To appropriate funds from SHIP/MIPPA Grant received.

Endorsement

1. Forward, recommending approval/disapproval

Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners

Paula J. Edwards
 Department Head Signature

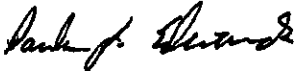
Allison W. Speight
 Allison Speight, County Finance Director

[Signature] 2022
 Craig Honeycutt County Manager & Budget Officer

Chairman Board of Commissioners
 2022

Memo

To: Wayne County Board of Commissioners

From: Paula J. Edwards, Director of Services on Aging 

Date: February 17, 2022

Re: Budget Amendment for MIPPA Funds

-
- **The Budget Amendment for MIPPA Funds (Senior Health Information Insurance Program)** – This BA is to allocate funds from MIPPA Grant for 2022. The funds are to be used to assist seniors with Medicare D Drug Plan and to reach out to lower income seniors and assist them in applying for extra help. The grant does not require a match from Wayne County.



County of Wayne
Budget Amendment
Fiscal Year 2021-2022

#323

Department: Health Department
Approved By: Dr. Brenda Weis, MSPH, PhD
Date: 2/3/2022

EXPENDITURE

Code Number	Project	String	Description	Decrease	Increase
1315166 512100			Salaries & Wages	\$	13,375.00
1315166 518000			FICA	\$	830.00
1315166 518100			Medicare	\$	195.00
1315166 518200			Retirement Contribution	\$	1,530.00
1315166 518210			401K Retirement Contribution	\$	270.00
1315166 523100			Program Supplies	\$ 2,100.00	
1315166 531100			Travel-Meals & Lodging	\$ 1,500.00	
1315166 549750			Incentive Payments	\$ 2,600.00	

REVENUE

Code Number	Description	Increase	Decrease
1315110 351010	Smart Start - Health Serv Team	\$ 10,000.00	
Totals		\$ 16,200.00	\$ 16,200.00

2. Reason(s) for the above request is/are as follows:

The budget amendment is needed to realign the budget to enable Health to use the funds to off set salaries & wages for Health Service Team (HST) - Smart Start staff. The Partnership for children had additional funds of \$10,000 that has been added to the WCHD - Partnership for Children - Wayne to support the Smart Start Program for Wayne County.

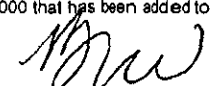
Endorsement

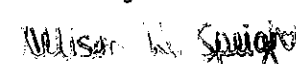
1. Forward, recommending approval/disapproval

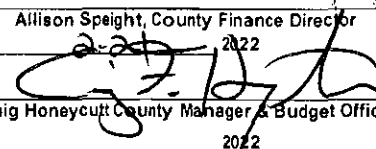
Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners


Department Head Signature


Allison Speight, County Finance Director


Craig Honeycutt, County Manager & Budget Officer

Chairman Board of Commissioners

2022

02/03/22

Date

Memorandum

From: Brenda Weis, MSPH, PhD
To: Wayne County Board of Commissioners
Via: County Manager & Finance Officer
Subject: Budget Amendment for Fiscal Year 2021-2022

Who: HD

What: HST - realignment of funds

When: FY21-22

Explanation: The budget amendment is needed to realign the budget to enable Health to use the funds to off set salaries & wages for Health Service Team (HST) - Smart Start staff. The Partnership for children had additional funds of \$10,000 that has been added to the WCHD - Partnership for Children - Wayne to support the Smart Start Program for Wayne County.



County of Wayne
Budget Amendment
Fiscal Year 2021-2022

327

Department: Health Department
Approved By: Dr. Brenda Weis, MSPH, PhD
Date: 2/16/2022

EXPENDITURE Code Number	Project	String	Description	Decrease	Increase
1315151	519000		Professional Services		\$ 161,000.00
1315110	519000		Professional Services	\$ 161,000.00	

REVENUE Code Number	Description	Increase	Decrease
Totals		\$ 161,000.00	\$ 161,000.00

2. Reason(s) for the above request is/are as follows:

716 - COVID-19 - Vaccination Program. \$161,000 entered in 1315110 519000 that should have been 1315151 519000 to cover COVID-19 contractors. Time worked in COVID-19 Vaccination Program (this will include: Melissa Miller, United Way, & Steve Mohr). This is to correct entry in Budget Amendment submitted on 01/31/22.

Endorsement

1. Forward, recommending approval/disapproval

Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners

Department Head Signature

Allison Spaight, County Finance Director

2022

Craig Honeycutt, County Manager & Budget Officer

2022

Chairman Board of Commissioners

2022

02/16/22
Date

Memorandum

From: Brenda Weis, MSPH, PhD
To: Wayne County Board of Commissioners
Via: County Manager & Finance Officer
Subject: Budget Amendment for Fiscal Year 2021-2022

Who: HD

What: 716 - COVID-19 Vaccination Program - realignment of funds.

When: FY21-22

Explanation: 716 - COVID-19 - Vaccination Program. \$161,000 entered in 1315110 519000 that should have been 1315151 519000 to cover COVID-19 contractors. Time worked in COVID-19 Vaccination Program (this will include: Melissa Miller, United Way, & Steve Mohr). This is to correct entry in Budget Amendment submitted on 01/31/22.



County of Wayne
Budget Amendment
Fiscal Year 2021-2022

#337

Department: American Rescue Plan Fund
Approved By: Allison Speight, Finance Director
Date: 2/22/2022

EXPENDITURE						
Code Number	Project	String	Description		Decrease	Increase
2154328-562000	ARPA		Grant Expenditures	\$	10,000,000.00	
2154328-562000		ARPA-RevReplace-GovSvc	Grant Expenditures			\$ 10,000,000.00

REVENUE				
Code Number	Description	Increase	Decrease	
Totals		\$ 10,000,000.00	\$ 10,000,000.00	

2. Reason(s) for the above request is/are as follows:

To elect the standard allowance of \$10,000,000.00 of revenue loss under the Treasury guidelines and allocate the funds to government services.

Endorsement

1. Forward, recommending approval/disapproval

Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners

Allison W. Speight
Department Head Signature

Allison W. Speight
Allison Speight, County Finance Director
2-22 2022

Craig Honeycutt
Craig Honeycutt, County Manager & Budget Officer
2-22 2022

Chairman Board of Commissioners
2022

COUNTY OF WAYNE
AMENDMENT TO THE GRANT PROJECT ORDINANCE
AMERICAN RESCUE PLAN FUND
FISCAL YEAR 2021-2022

BE IT ORDAINED by the Wayne County Board of Commissioners that the following amendment be made to the Grant Project Ordinance for the American Rescue Plan Fund for the fiscal year ending June 30, 2022:

Section 1. To amend the Capital Project Fund, the appropriations are to be changed as follows:

Code Number	Project	String	Description	Decrease	Increase
2154328-562000	ARPA		Grant Expenditures	\$ 10,000,000.00	
2154328-562000		ARPA-RevReplace-GovSvc	Grant Expenditures		\$ 10,000,000.00

This will result in a net increase of \$0.00 in the appropriations of the Capital Project Fund.

Section 2. To provide the additional revenue for the above, the following revenues will be changed as follows: No changes

Section 3. Copies of this budget amendment shall be furnished to the Clerk to the Governing Board, and to the Budget Officer and the Finance Officer for their direction.

Adopted this _____ day of _____ 2022.

WAYNE COUNTY
FINANCE



WAYNE COUNTY
NORTH CAROLINA
Phone: (919) 731-1417
Fax (919) 731-1388

Memorandum

To: Wayne County Board of Commissioners
CC: Craig Honeycutt, County Manager
From: Allison Speight, Finance Director *AS*
Date: March 1, 2022
Re: BA #337

On March 11, 2021, the American Rescue Plan Act (ARP) of 2021 was signed into law. It was the third major relief act since the onset of the COVID-19 pandemic and included \$1.9 trillion in aid to state and local governments. The County applied for and received the first tranche of funds in the amount of \$11,958,376.50 in May of 2021. The remainder will be distributed to the County within 12 months with a total allocation of \$23,916,753.00 to Wayne County. The Treasury issued an interim ruling regarding spending guidelines in May of 2021; and the final ruling was just released in January.

The final rule offers a standard allowance for revenue loss of \$10 million, allowing recipients to select between a standard amount of revenue loss or complete a full revenue loss calculation. I have completed two revenue loss calculations – one under the interim rule and one under the final rule – and both of these calculations indicate that the County should elect for the standard allowance of \$10 million. The County can use the \$10 million to fund services traditionally provided by the government. This budget amendment recommends the election of the standard allowance of \$10 million and creates a project within the ARP fund called Government Services. Its project code will be GOVSV, and the project ID number will be 6.1.001 on the Treasury's Project and Expenditure Report. While there are less restrictions with this portion of the ARP funds, the County is not allocating any of this project's monies to direct line items at this time. Instead, staff recommends waiting for the further guidance of the Treasury to be released regarding procurement requirements.

The remaining \$13,916,753.00 of the ARP funds may be used in one of three categories: to support the COVID-19 public health and economic response; to provide premium pay for eligible workers performing essential work; or to invest in

THE GOOD LIFE. GROWN HERE.

water, sewer, and broadband infrastructure. Staff is working now to develop required policies for the expenditure of these monies. Additionally, staff recommends waiting for the further guidance of the Treasury to be released regarding procurement requirements before assigning these funds to specific projects. We will be reviewing the guidance available in the coming months to recommend spending plans for these funds. All ARP funds must be obligated no by ARP funds by December 31, 2024 and expended to cover such obligations by December 31, 2026.

If you have any questions, please do not hesitate to contact me. Thank you!

WAYNE COUNTY
STAFF ATTORNEY



WAYNECOUNTY
NORTH CAROLINA

Phone: (919) 705-1713
Fax (919) 988-6495

TO: WAYNE COUNTY BOARD OF COMMISSIONERS
FROM: ANDREW NEAL, STAFF ATTORNEY *AN*
SUBJECT: SALE OF SURPLUS PROPERTY JOINTLY OWNED WITH THE CITY OF
GOLDSBORO; 510 WILMINGTON AVENUE, GOLDSBORO (PIN: 3509012256)
DATE: 2/18/2021
CC: CRAIG HONEYCUTT, COUNTY MANAGER

The County and the City of Goldsboro jointly own the property located at 510 Wilmington Avenue, Goldsboro. The property was obtained via tax foreclosure auction. The County has received an offer to purchase the property pursuant to NCGS §160A-269.

510 Wilmington Avenue, Goldsboro (PIN: 3509012256)

Buyer: Terence I. Johnson

Sales Price: \$2,700.00

Tax Value: \$2,700.00

Deposit: \$135.00 (5% of purchase price)

If the offer is approved by the Board of Commissioners, the offer will be advertised in the News-Argus and upset bids will be accepted for 10 days. Once upset bidding is complete, the offer will be sent to the Goldsboro City Council for approval. All adjoining property owners have been notified of the offer and the procedure for submitting an upset bid. Enclosed please find proposed the Resolution, Public Notice, Tax Card, and GIS map.

THE GOOD LIFE. GROWN HERE.

NORTH CAROLINA

WAYNE COUNTY

**RESOLUTION #2022- 9 : A RESOLUTION DECLARING SURPLUS REAL
PROPERTY AND AUTHORIZING ITS SALE**

WHEREAS, the County has acquired a property interest a piece of property located at 510 Wilmington Ave., Goldsboro, North Carolina, having a parcel identification number of 3509012256 and being more particularly described in the deed recorded in Deed Book 3548, Page 302 in the Office of the Register of Deeds for Wayne County ("Property"); and

WHEREAS, the County obtained an interest in this property through tax foreclosure proceedings; and

WHEREAS, the Staff Attorney and County Manager have recommended that this property be declared surplus and sold, following a careful review by the Staff Attorney and the Facilities Services Director who determined the County has no use for the property; and

WHEREAS, NCGS § 160A-269 permits the County to sell property by upset bid, after receipt of an offer for the property; and

WHEREAS, the County has received an offer to purchase the property described above, in the amount of \$2,700, submitted by Terrence I. Johnson; and

WHEREAS, Terrence I. Johnson has paid the required five percent (5%) deposit on its offer;

NOW, THEREFORE BE IT RESOLVED by the Wayne County Board of Commissioners that:

1. The Board of Commissioners declares the property described above surplus and authorizes the sale of the property through upset bid procedure of North Carolina General Statute §160A-269.
2. A notice of the proposed sale shall be published which shall describe the property and the amount of the offer and shall state the terms under which the offer may be upset.
3. Any person may submit an upset bid to the Clerk to the Board within 10 days after the notice of sale is published. Once a qualifying higher bid has been received, that bid will become the new offer.
4. If a qualifying higher bid is received, new notice of upset bid shall be published, and shall continue to do so until a 10-day period has passed without any qualifying upset bid having been received. At that time, the amount of the final high bid shall be reported to the Board of Commissioners.

5. A qualifying higher bid is one that raises the existing offer by not less than ten percent (10%) of the first \$1,000.00 of that offer and five percent (5%) of the remainder of that offer.
6. A qualifying higher bid must also be accompanied by a deposit in the amount of five percent (5%) of the bid; the deposit may be made in cash, cashier's check, or certified check. The County will return the deposit on any bid not accepted and will return the deposit on an offer subject to upset if a qualifying higher bid is received. The county will return the deposit of the final high bidder at closing.
7. The County reserves the right to withdraw the property from sale at any time before the final high bid is accepted and the right to reject at any time all bids.
8. If no qualifying upset bid is received after the initial public notice, the offer set forth above is hereby accepted. The appropriate County officials are authorized to refer the matter to the City of Goldsboro by the City Council and, pending approval by said body, execute the instruments necessary to convey the property to Terrence I. Johnson.

Passed and adopted this the 1st day of March, 2022.

Joe Daughtery, Chairman
Wayne County Board of Commissioners

ATTEST:

Carol Bowden, Clerk to the Board

PUBLIC NOTICE
SALE OF COUNTY PROPERTY

An offer of \$2,700.00 has been submitted for the purchase of certain property owned by the County of Wayne located at 510 Wilmington Ave., Goldsboro, NC (Wayne County PIN 3509012256) more particularly described as follows:

BEGINNING at a stake in the Southern edge of Wilmington Avenue at H.L. Mitnaul's Northwestern corner and runs thence with the Southern edge of Wilmington Avenue N. 84° 25' W. 50 feet to an iron stake, M.E. DuBissette's corner; thence with DuBissette's line S. 5° 35' W. 97.54 feet to an iron stake in Moses Forbes' line; thence with the Moses Forbes' line S. 85° 42' E. 50.02 feet to iron stake; thence with Mitnaul's line N. 5° 35' E. 96.42 feet to the point of beginning; and being a portion of the lot conveyed to M.E. Dubissette by J.A. Jinnette and others by deed dated November 1, 1952, and recorded in Book 392 at page 65 in the office of the Register of Deeds for said Wayne County.

Persons wishing to upset the offer that has been received shall submit a sealed bid with their offer and the required deposit to the Clerk to the Board of Commissioners, PO Box 227, Goldsboro, NC 27533 by 5:00 P.M. on March 15, 2022. At that time the Clerk to the Board shall open the bids, if any, and the highest qualifying bid will become the new offer. If there is more than one bid in the highest amount, the first such bid received will become the new offer.

A qualifying higher bid is one that raises the existing offer at least 10% of the first \$1,000 and 5% of the remainder. A qualifying bid must raise the existing offer to an amount not less than \$2,885.00.

A qualifying higher bid must be accompanied by a deposit in the amount of five percent (5%) of the bid; the deposit may be made in cash, cashier's check, or certified check. The County will return the deposit on any bid not accepted and will return the deposit on an offer subject to upset if a qualifying higher bid is received. If no other bids are made the original offer to purchase of \$2,700.00 will be accepted.

Further information may be obtained at the Wayne County Staff Attorney's Office, 100 S. Ormond Ave., Goldsboro, NC or by telephone at (919) 705-1971 during normal business hours.

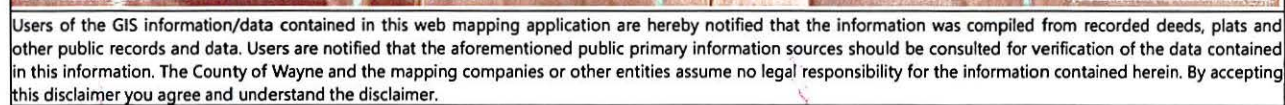
Andrew J. Neal
Wayne County Staff Attorney
PO Box 227
Goldsboro, NC 27533
(919) 705-1971
Run date: March 5, 2022

WAYNE COUNTY										2/18/2022 9:33:28 AM									
WAYNE COUNTY & CITY OF GOLDSBORO										Return/Appeal Notes: 3509012256									
510 WILMINGTON AVE										UNIQ ID 50118									
79266550										ID NO: 12000022002009									
CITY - GOLDSBORO (100), COUNTYWIDE ADVALOREM TAX (100)										CARD NO. 1 of 1									
Reval Year: 2019 Tax Year: 2022 WILMINGTON AVE										1.000 LT SRC=									
Appraised by 11 on 01501 DIXIE TRAIL										TW-12 C-01 EX-2AT- LAST ACTION 20201006									

CONSTRUCTION DETAIL		MARKET VALUE				DEPRECIATION				CORRELATION OF VALUE			
TOTAL POINT VALUE		USE	MOD	Eff. Area	QUAL	BASE RATE	RCN	EYB	AYB	CREDENCE TO			
BUILDING ADJUSTMENTS		02	00							% GOOD			
TOTAL ADJUSTMENT FACTOR		TYPE: MOBILE HOME STORIES:								DEPR. BUILDING VALUE - CARD			
TOTAL QUALITY INDEX										0			
						DEPR. OB/XF VALUE - CARD				0			
						MARKET LAND VALUE - CARD				2,700			
						TOTAL MARKET VALUE - CARD				2,700			
						TOTAL APPRAISED VALUE - CARD				2,700			
						TOTAL APPRAISED VALUE - PARCEL				2,700			
						TOTAL PRESENT USE VALUE - PARCEL				0			
						TOTAL VALUE DEFERRED - PARCEL				0			
						TOTAL TAXABLE VALUE - PARCEL				2,700			
						PRIOR							
						BUILDING VALUE				0			
						OBXF VALUE				0			
						LAND VALUE				2,700			
						PRESENT USE VALUE				0			
						DEFERRED VALUE				0			
						TOTAL VALUE				2,700			
PERMIT													
CODE		DATE		NOTE		NUMBER		AMOUNT					
ROUT: WTRSHD:													
SALES DATA													
OFF. RECORD		DATE		DEED TYPE		Q/UV/I		INDICATE SALES PRICE					
BOOK	PAGE	MO	YR										
03548	0302	8	2020	WD		C V				0			
0082E	0288	1	1982	WB		C V				0			
00431	0318	7	1955	WD		U V				0			
0000E	0050	1	2000	WD		U I				0			
HEATED AREA													
NOTES													
P10-16 DEMO FOR 2017/3553-755													

SUBAREA		CODE	QUALITY	DESCRIPTION	LTH	WTH	UNITS	UNIT PRICE	ORIG % COND	BLDG#	L/B	SIZE FACT	AYB	EYB	ANN DEP RATE	OVR	% COND	OB/XF DEPR. VALUE
TYPE		GS AREA	%	RPL CS	TOTAL OB/XF VALUE													
FIREPLACE																		
SUBAREA TOTALS																		

BUILDING DIMENSIONS																			
LAND INFORMATION																			
HIGHEST AND BEST USE	USE CODE	LOCAL ZONING	FRONTAGE	DEPTH	DEPTH / SIZE	LND MOD	COND FACT	OTHER ADJUSTMENTS AND NOTES				ROAD TYPE	LAND UNIT PRICE	TOTAL LAND UNITS	UNT TYP	TOTAL ADJST	ADJUSTED UNIT PRICE	LAND VALUE	LAND NOTES
0100	0100	R-6	50	96	0.8300	2	1.0000						65.00	50.000	FF	0.830	53.95	2698	
TOTAL MARKET LAND DATA																			
TOTAL PRESENT USE DATA																			



MEMORANDUM

To: Wayne County Board of Commissioners

From: Berry Gray, Planning Director

Date: February 9, 2021

Re: Subdivision Preliminary Plat Approval

Item: Edgerton Farms Estates, Section 4, Preliminary
Owner: Ralph Eugene Edgerton Jr.
Developer: Perry Real Estate, LLC
Surveyor/Engineer: Bryan K Jones Consulting Engineers, PA
Buck Swamp Township, Fields Road (SR 1336)
Lots 36 – 91 (56 lots)

Discussion: Sec 70-74 of the Wayne County Subdivision Ordinance requires that for every major subdivision within its territorial jurisdiction which does not qualify for the abbreviated minor subdivision procedure, the developer shall submit a preliminary plat which shall be reviewed and approved by the Board of Commissioners before any construction or installation of improvements may begin.

The Edgerton Farms Estates Section 4 preliminary consists of 56 residential building lots. The plat shows connection into the existing subdivision through Ralph Drive (SR 1479) and a new point of access proposed for Fields Road. This subdivision will be built on 45 acres on Fields Road, 2/5th of a mile south of Nahunta Road. No flood zones are present within the project area. The property is not located within a zoning area which allows for a subdivision with minimum 15,000 sf lots.

The average lot size is 23,214 sf or 0.54 acres. The density is 1.23 units per acre which is lower than the 2 unit per acre recommendation in the Land Use Plan. There are 3,275 linear feet (0.62 miles) of streets required to be installed per the NC Dept. Of Transportation subdivision street requirements. Building lots will utilize public water and onsite sewer. The subdivision meets the requirements for stormwater.

The property is shown within the Rural area in the Wayne County Comprehensive Land Use Plan.

Rural Areas provide for agriculture, forestry, and other allied activities traditionally found in a rural setting. Very low intensity residential development with on-site waste disposal (i.e. septic systems) may be appropriate in Rural Areas where site conditions are good. Premature conversion of Rural Areas to urban level development and the resulting loss of valuable farmland and open space is to be discouraged. Generally, public funds should not be used for planning, programming or installing urban services in these areas that would promote

more intensive development. While development densities as high as 2 units per acre may be permitted in these areas, much lower densities and larger lots are preferred.

The property is located within the following service areas:

Schools – C.B. Aycock HS, Norwayne Middle, Northwest Elem
Water – Northwestern Wayne Sanitary District
Fire – Nahunta Fire Department
EMS – Station 7
Transportation – RPO
Water Supply Watershed – No
Voluntary Agriculture District – No
Wetlands – Yes
Board of Commissioners District – 1

Recommendation: The Wayne County Planning Board recommends that the preliminary be approved.

[illegible]

PORTLY REAL ESTATES, LLC
PO DRAWING: OULINSHORO, MD 22733 915-734-4074 X 112
SURVEYOR: WILLIAM MILLER, JR., PLS
TO BOX 1015, BRIDGELAND, MD 25118 910-256-6283
SCE, 301 EAST AUSTIN RD., WORKS, INC 2858 MAINSTOWN GROUP, GREENVILLE, NC
TOTAL TRACT AREA: 61.47 AC. 3.12 AC. 4.12 AC
ZONING: M-2
PROPOSED SURVEYOR IS NOT WITHIN A RIGHT-OF-WAY CORRIDOR
PROPOSED BY A TRANSPORTATION PLANNING ORGANIZATION
NO VOLUNTARY AGRI-CULTURAL DISTRICT WITHIN A QUARTER MILE
PROPOSED SURVEYOR IS NOT WITHIN THE A-24 ZONE
TOTAL NUMBER OF PROPOSED LOTS 56 LOTS
SMALLEST LOT AREA 15,000 SF
LARGEST LOT AREA 80,312 SF
AVERAGE LOT AREA 23,114 SF
LINEN FEET IN STREETS (BY STREET WIDTH) 3,275 x LF
MINIMUM BUILDING SETBACKS
FRONT 30 FT
SIDE 10 FT
SIDE (CORNER LOT) 25 FT
REAR 25 FT
FLOOD HAZARD ZONE X - AREAS DETERMINED TO BE
OUTSIDE THE 24 ANNUAL FLOOD FLOODPLAIN
L-200M 3672024000K & 372024000K, JUNE 20, 2018
WATER ALL PROPOSED LOTS BE SERVED BY THE
NORTH WESTERN SANITARY DISTRICT WATER LINE SIZE
AND PIPE (PIPING LOCATIONS SHALL BE DETERMINED BY
THE SANITARY DISTRICT ENGINEER
COLLECTOR, C&P, P&C, ALL PROPOSED UTILITIES SHALL
BE DESIGNED AND INSTALLED BY THE RESPECTIVE
UTILITY
ALL OPEN SPACE AREAS SHALL BE ACCESS, MAINTENANCE &
UTILITY EASEMENTS

I HEREBY CERTIFY THAT I AM AWARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREIN, WITH ITS LOCATION IN THE SUBDIVISION JUDICIAL MAP OF WATER COUNTY, AND THAT I HAVE HEREBY ACCEPTED THIS PLAN OF SUBDIVISION WITH MY FULL FREE CONSENT AND I ESTABLISH MY HOME HEREIN TO INSTALL AND CONSTRUCT THE HOMEOWNERS OF THE SUBDIVISION AS TO THIS COUNTY'S MINIMUM DESIGN REQUIREMENTS AS NOTED.

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	BRYAN K. JONES CONSULTING ENGINEERS, P.A. Post Office Box 10882 Goldboro, North Carolina 27532 919-221-5222 LIC. # C-3065	EDGERTON FARMS ESTATES, SEC. 1 PRELIMINARY PLAT NOT FOR RECONSTRUCTION, CONVEYANCE OR SALES PERRY REAL ESTATE, LLC
Drawn By DKJ	Project Number 21172	Date 1/13/2022
Scale 1" = 100'	Sheet 1 of 1	Scale 1 of 1

Carol Bowden

From: Catherine Gwynn <CGwynn@goldsboronc.gov>
Sent: Sunday, February 20, 2022 6:38 PM
To: Andrew Neal; Carol Bowden
Cc: Octavius Murphy; Nona Robbins
Subject: [External] - FW: Agenda 8/2/21-Upset Bid & Surplus 1003 N. George (Melissa Bynum Gill)
Attachments: Agenda 2021-08-02 Upset Bid & Surplus 1003 N George (Gill).pdf; Resolution Authorizing Upset Bid Process 1003 N George St (Gill).doc; Agenda Memo 2021-08-02 Upset Bid Resolution 1003 N George (Gill).doc; 2021-59 2021-08-02 1003 N. George St Upset Bid-.pdf

Andrew and Carol,
Good evening. I hope you all are doing well. I have a 1003 N. George Street that the Council approved to sell by upset bid to Melissa Gill on 8/2/21. On the Tax Card it shows as a City/County owned property. Can you please put this on the agenda as soon as practical?

Thank you!
Catherine

From: Catherine Gwynn
Sent: Monday, July 26, 2021 6:47 PM
To: Laura Getz <LGetz@goldsboronc.gov>; Timothy Salmon <TSalmon@goldsboronc.gov>
Cc: Timothy Wood <TWood@goldsboronc.gov>; Chestine Faison <CFaison@goldsboronc.gov>; Nona Robbins <NRobbins@goldsboronc.gov>; Andrea L. Thompson <AThompson@goldsboronc.gov>; Octavius Murphy <OMurphy@goldsboronc.gov>
Subject: Agenda 8/2/21-Upset Bid & Surplus 1003 N. George (Melissa Bynum Gill)

All,
Please find attached Upset Bid & Surplus Resolution for 1003 N. George (Melissa Bynum Gill). This is my last item for this agenda.
Catherine

Catherine F. Gwynn, CPA, CFE, CITP

Finance Director
City of Goldsboro
P 919.580.4356
F 919.580.4290
cgwynn@goldsboronc.gov
www.goldsboronc.gov

Pursuant to North Carolina General Statutes Chapter 132, Public Records, this electronic mail message and any attachments hereto, as well as any electronic mail message(s) that may be sent in response to it may be considered public record and as such are subject to request and review by anyone at any time.

CAUTION

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CITY OF GOLDSBORO
AGENDA MEMORANDUM
AUGUST 2, 2021 COUNCIL MEETING

SUBJECT: Accept or Reject Initial Bid and Authorize Finance to Advertise for Upset Bids for 1003 N. George Street to Melissa Bynum Gill

BACKGROUND: Council approved the sale of 1003 N. George on 3/15/21 to Ms. Edna Burns and was approved by the County after no upset bids were received. Ms. Burns changed her mind about buying the property on 7/16/21. On 7/22/21, staff received an offer to purchase this city/county owned property. Council must either accept or reject the offer, and if accepted authorize advertisement for upset bids (G.S. 160A-266 and 160A-269).

DISCUSSION: The following offers have been received for the sale of surplus real property under **Negotiated offer, advertisement, and upset bid process (G.S. §160A-266(a) (3))**

1003 N. George Street

Offeror: Melissa Gill

Offer: \$2,020.00

Bid Deposit: \$101.00

Parcel #: 48992

Pin #: 2690902685

Tax Value: \$4,040.00

Zoning: R-6

The offer is at least 50% of the tax value of the property. The bid deposit of 5% has been received in the form of a money order.

RECOMMENDATION: It is recommended that the City Council, by motion:

1. Accept or reject offer on 1003 N. George Street from Ms. Melissa Gill.
2. If accepted, adopt attached resolution authorizing Finance to advertise for upset bids.

Date: 7/26/2021


Catherine F. Gwynn, Finance Director

Date: _____

Timothy M. Salmon, City Manager

RESOLUTION NO. 2021- _____

RESOLUTION AUTHORIZING UPSET BID PROCESS

WHEREAS, the City of Goldsboro and County of Wayne jointly own certain real property at **1003 N. George Street (Pin #2690902685)**; and

WHEREAS, North Carolina General Statute § 160A-269 permits the city to sell real property by upset bid, after receipt of an offer for the property; and

WHEREAS, the City has received an offer to purchase the property described above, in the amount of **\$2,020.00 (Two Thousand Twenty Dollars and no/100)** submitted by **Melissa Bynum Gill (Offeror)**; and

WHEREAS, Offeror has paid the required five percent (5%) deposit on his/her offer in the amount of **\$101.00 (One Hundred One Dollars and no/100)**;

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of Goldsboro, North Carolina, that:

- 1) The City council declares this property as surplus.
- 2) The City Council authorizes sale of the property described above through the upset bid procedure of North Carolina General Statute § 160A-269.
- 3) The Finance Director shall cause a notice of the proposed sale to be published in a newspaper of general circulation within its jurisdiction. The notice shall describe the property and the amount of the offer, and shall state the terms under which the offer may be upset.
- 4) Persons wishing to upset the offer that has been received shall submit a sealed bid with their offer to the office of the Finance Director at 200 N. Center Street, Goldsboro, NC 27530 during normal business hours within 10 days after the notice of sale is published. At the conclusion of the 10-day period, the Finance Director shall open the bids, if any, and the highest such bid will become the new offer. If there is more than one bid in the highest amount, the first such bid received will become the new offer.
- 5) If a qualifying higher bid is received, the Finance Director shall cause a new notice of upset bid to be published, and shall continue to do so until a 10-day period has passed without any qualifying upset bid having been received. At that time, the amount of the final high bid shall be reported to the City Council.
- 6) A qualifying higher bid is one that raises the existing offer by not less than ten percent (10%) of the first \$1,000.00 of that offer and five percent (5%) of the remainder of that offer.
- 7) A qualifying higher bid must also be accompanied by a deposit in the amount of five percent (5%) of the bid; the deposit may be made in cash, cashier's check, or certified check. The city will return the deposit on any bid not accepted, and will return the deposit on an offer subject to upset if a qualifying higher bid is received. The city will return the deposit of the final high bidder at closing.
- 8) The terms of the final sale are:
 - a) City Council must approve the final high offer before the sale is closed, which it will do within 30 days after the final upset bid period has passed.
 - b) The Wayne County Board of Commissioners must approve the final sale by concurrence after final approval by City Council.
 - c) Buyer must pay with cash at the time of closing.
 - d) Buyer must pay closing costs.
- 9) The City reserves the right to withdraw the property from sale at any time before the final high bid is accepted and the right to reject at any time all bids.

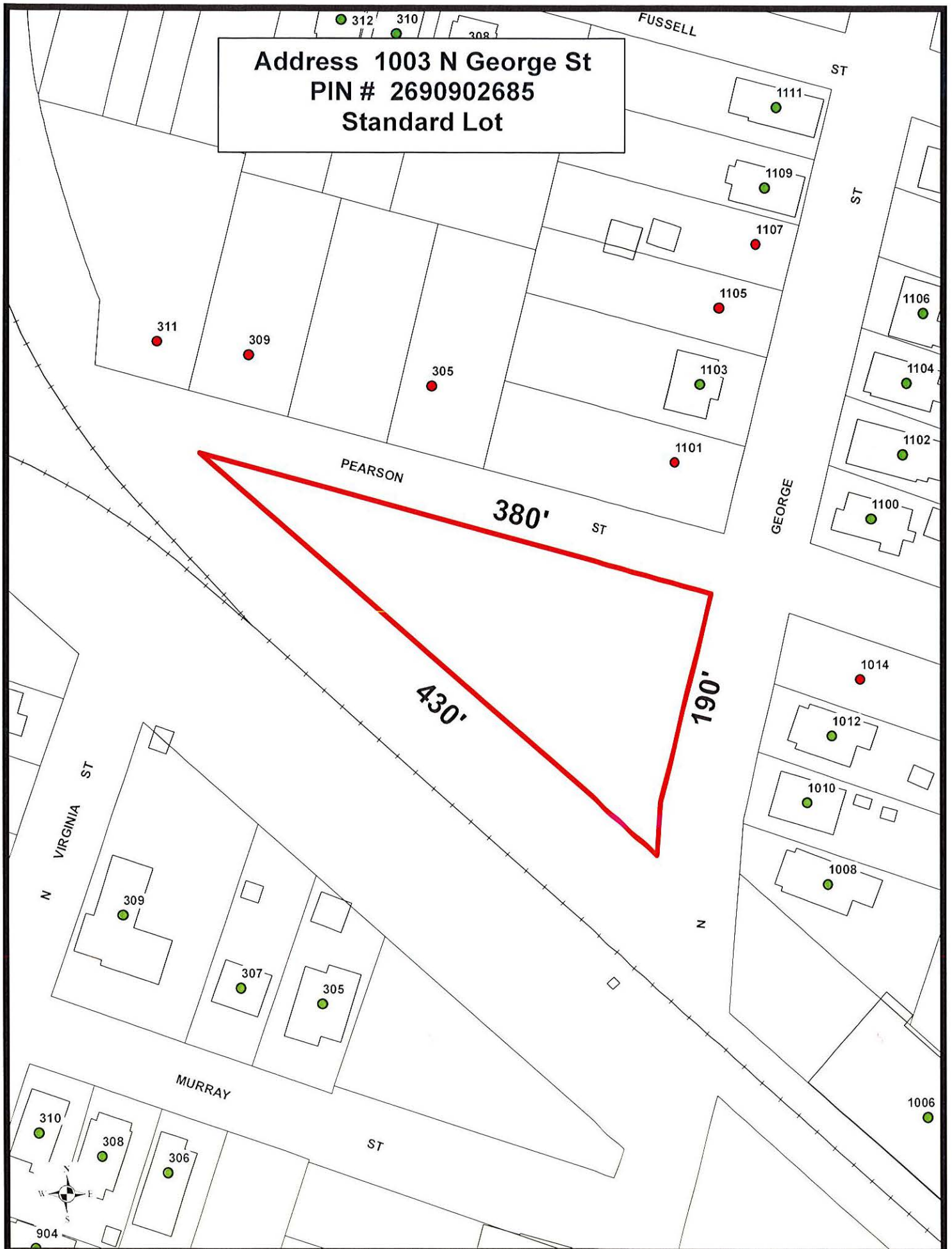
- 10) If no qualifying upset bid is received after the initial public notice, the offer set forth above is hereby accepted. City staff is authorized to seek concurrence from the Wayne County Board of Commissioners and upon such approval, the appropriate city officials are authorized to execute the instruments necessary to convey the property to Offeror.

This resolution shall be in full force and effect from and after this _____ day of _____, 2021.

Mayor Pro Tem

Attest: _____
City Clerk

Address 1003 N George St
PIN # 2690902685
Standard Lot



I, Melissa Bynum Gill would like to offer the
City of Goldsboro the sum of \$2,020.00 for the
purchase of property at the following location:

Parcel: 2690902685

Street: 1003 N. George St.

Signed: Melissa Bynum Gill

Date: July 21, 2021

Name

Melissa Bynum Gill

Address:

224 R Street, NW #103 Washington, DC 20001

Phone:

(919) 766-1280

Email:

Gill.Melissa@yahoo.com

Amount of Bid Deposit:

\$101.00

RECEIVED

2021 JUL 22 AM 11:01
CITY OF GOLDSBORO
FINANCIAL DEPARTMENT



UNITED STATES
POSTAL SERVICE

POSTAL MONEY ORDER

Serial Number

27296686260

Year, Month, Day

2021-07-31

Post Office

275300

U.S. Dollars and Cents

\$101.00

Amount

One Hundred One Dollars and 00/100 *****

Pay to

City of Goldsboro

Clerk

38

Address

200 Center Street
Goldsboro NC 27530

From

Melissa B Gill

Address

823 N Argo Street

Memo

1003 George Street

Goldsboro, N.C. 27530

SEE REVERSE WARNING • NEGOTIABLE ONLY IN THE U.S. AND POSSESSIONS

1:000000800 21:

27296686260

WAYNE COUNTY

7/26/2021 9:52:36 AM

CITY OF GOLDSBORO		WAYNE COUNTY		Return/Appeal Notes: 2690902685												
1003 N GEORGE ST				UNIQ ID 48992												
75254500				ID NO: 12000076002041												
CITY - GOLDSBORO (100), COUNTYWIDE ADVALOREM TAX (100)				CARD NO. 1 of 1												
Reval Year: 2019 Tax Year: 2021 N GEORGE ST				1,000 LT SRC=												
Appraised by on 01801 CENTRAL BUSINESS DISTRICT				TW-12 C-01 EX-5AT- LAST ACTION 20170729												
CONSTRUCTION DETAIL		MARKET VALUE		DEPRECIATION												
TOTAL POINT VALUE		USE MOD Eff. Area QUAL BASE RATE RCN EYB AYB		% GOOD												
BUILDING ADJUSTMENTS		01 00														
TOTAL ADJUSTMENT FACTOR		TYPE: SINGLE FAMILY RESIDENTIAL														
TOTAL QUALITY INDEX		STORIES:														
				CREDENCE TO												
				DEPR. BUILDING VALUE - CARD												
				DEPR. OB/XF VALUE - CARD												
				MARKET LAND VALUE - CARD												
				TOTAL MARKET VALUE - CARD												
				TOTAL APPRAISED VALUE - CARD												
				TOTAL APPRAISED VALUE - PARCEL												
				TOTAL PRESENT USE VALUE - PARCEL												
				TOTAL VALUE DEFERRED - PARCEL												
				TOTAL TAXABLE VALUE - PARCEL												
				PRIOR												
				BUILDING VALUE												
				OBXF VALUE												
				LAND VALUE												
				PRESENT USE VALUE												
				DEFERRED VALUE												
				TOTAL VALUE												
				PERMIT												
				CODE DATE NOTE NUMBER AMOUNT												
				ROUT: WTRSHD:												
				SALES DATA												
				OFF. RECORD DATE DEED TYPE Q/UV/L INDICATE SALES PRICE												
				BOOK PAGE MOYR												
				02934 0737 5 2012 WD C V 0												
				01759 0296 2 2000 WD U I 0												
				01708 0885 1 1999 WD U I 500												
				01565 0113 12 1996 WD U I 0												
				01565 0042 12 1996 WD U I 4500												
				00735 0407 1 1969 WD U I 0												
				HEATED AREA												
				NOTES												
				C-FORM FOR 1988												
				ADJ PER SHAPE												
SUBAREA		CODE QUALITY DESCRIPTION LTH WTH UNITS UNIT PRICE ORIG % BLDG # L/B SIZE FACT AYB EYB ANN DEP RATE OVR COND OB/XF DEPR. VALUE														
TYPE GS AREA % RPL CS		TOTAL OB/XF VALUE		0												
FIREPLACE																
SUBAREA																
TOTALS																
BUILDING DIMENSIONS																
LAND INFORMATION																
HIGHEST AND BEST USE	USE CODE	LOCAL ZONING	FRONT YAGE	DEPTH	DEPTH / SIZE	LND MOD	COND FACT	OTHER ADJUSTMENTS AND NOTES	ROAD TYPE	LAND UNIT PRICE	TOTAL LAND UNITS	UNT TYP	TOTAL ADJUST	ADJUSTED UNIT PRICE	LAND VALUE	LAND NOTES
0100	0100	R-6	114	380	1-1700	2	9.5000			60.00	114.000	FF	0.590	35.40	4036	
TOTAL MARKET LAND DATA															4,040	
TOTAL PRESENT USE DATA																

RESOLUTION NO. 2021- _____

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WHEREAS, Offeror has paid the required five percent (5%) deposit on his/her offer in the amount of **\$101.00 (One Hundred One Dollars and no/100)**;

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- 9) The City reserves the right to withdraw the property from sale at any time before the final high bid is accepted and the right to reject at any time all bids.

10) If no qualifying upset bid is received after the initial public notice, the offer set forth above is hereby accepted. City staff is authorized to seek concurrence from the Wayne County Board of Commissioners and upon such approval, the appropriate city officials are authorized to execute the instruments necessary to convey the property to Offeror.

This resolution shall be in full force and effect from and after this _____ day of _____, 2021.

Mayor Pro Tem

Attest: _____
City Clerk

CITY OF GOLDSBORO
AGENDA MEMORANDUM
AUGUST 2, 2021 COUNCIL MEETING

- SUBJECT:** Accept or Reject Initial Bid and Authorize Finance to Advertise for Upset Bids for 1003 N. George Street to Melissa Bynum Gill
- BACKGROUND:** Council approved the sale of 1003 N. George on 3/15/21 to Ms. Edna Burns and was approved by the County after no upset bids were received. Ms. Burns changed her mind about buying the property on 7/16/21. On 7/22/21, staff received an offer to purchase this city/county owned property. Council must either accept or reject the offer, and if accepted authorize advertisement for upset bids (G.S. 160A-266 and 160A-269).
- DISCUSSION:** The following offers have been received for the sale of surplus real property under **Negotiated offer, advertisement, and upset bid process (G.S. §160A-266(a) (3))**
- 1003 N. George Street
Offeror: Melissa Gill
Offer: \$2,020.00
Bid Deposit: \$101.00
Parcel #: 48992 Pin #: 2690902685
Tax Value: \$4,040.00 Zoning: R-6
- The offer is at least 50% of the tax value of the property. The bid deposit of 5% has been received in the form of a money order.
- RECOMMENDATION:** It is recommended that the City Council, by motion:
1. Accept or reject offer on 1003 N. George Street from Ms. Melissa Gill.
 2. If accepted, adopt attached resolution authorizing Finance to advertise for upset bids.

Date: _____

Catherine F. Gwynn, Finance Director

Date: _____

Timothy M. Salmon, City Manager

RESOLUTION NO. 2021- 59

RESOLUTION AUTHORIZING UPSET BID PROCESS

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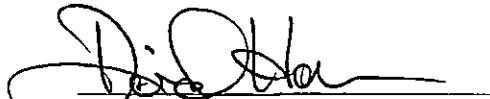
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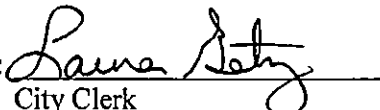
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10) If no qualifying upset bid is received after the initial public notice, the offer set forth above is hereby accepted. City staff is authorized to seek concurrence from the Wayne County Board of Commissioners and upon such approval, the appropriate city officials are authorized to execute the instruments necessary to convey the property to Offeror.

This resolution shall be in full force and effect from and after this 2nd day of August, 2021.


Mayor Pro Tem

Attest: 
City Clerk

RESOLUTION #2022-6: A RESOLUTION AUTHORIZING HEALTH DEPARTMENT RECRUITMENT AND RETENTION INCENTIVE PAY

WHEREAS, a labor market shortage exists for specific nursing positions in the Wayne County Health Department; and

WHEREAS, turnover rates are significantly higher than acceptable rates; and

WHEREAS, retention rates are significantly lower than acceptable rates ; and

WHEREAS, Wayne County wishes to provide additional payments to serve as a recruitment and retention incentives;

NOW, THEREFORE, BE IT RESOLVED, by the Wayne County Board of Commissioners, incentive payments of \$5,000 shall be granted to full-time, specifically designated nurses of the Wayne County Health Department pursuant to the following terms:

1. The employee is currently full-time, or will be employed full-time in the following positions within the Wayne County Health Department:
 - a. PH Nurse Director II
 - b. PH Nurse Supervisor II
 - c. PH Nurse Supervisor I
 - d. PH Nurse Supervisor I (work/against)
 - e. Practical Nurse II
 - f. PH Nurse II
 - g. PH Nurse II (work/against)
 - h. PH Nurse III
 - i. PH Nurse III/FP Coordinator
 - j. PH Nurse III/MH Coordinator
 - k. **Physician Extender II**
2. Qualifying employees will receive monthly payments of \$625.00 in addition to salary over the span of eight months.
3. Employees actively employed as of the date of this policy will receive retention incentive beginning November 1, 2021 to be paid November 25, 2021.
4. New employees meeting the above criteria will receive recruitment incentive following the completion of thirty days of satisfactory employment.
5. Employees will not be eligible for recruitment or retention incentive pay if:

- a. The employee's overall performance rating at any time is not at minimum of "Meets Expectations" or the employee has documented disciplinary actions for misconduct or performance;
 - b. The employee transfers to another agency before the completion of eight consecutive months with the Wayne County Health Department; or
 - c. Employee is unable to work due to Workers Compensation, FMLA, or Military Leave. Incentive pay will continue once employee returns to full duty status.
6. This, one time, recruitment and retention incentive pay will begin November 1, 2021.
 7. The incentive provided under this resolution will be available until it is determined by the Board of Commissions that there is no longer a need for such incentive.
 8. All payroll taxes and related benefits will be applied to this incentive pay. This pay will be tracked separately in the County's payroll system.

ADOPTED this the 1st of March, 2022.

Joe Daughtery
Chairman, Wayne County Board of Commissioners

ATTEST:

(Seal)
Carol Bowden
Clerk to the Board

Memorandum

To: Wayne County Board of Commissioners
From: Craig Honeycutt, County Manager
Date: 2/21/2022
Re: Personnel Policy Update – 03/01/2022 Meeting

Attached to this memo is a resolution to amend Article XI, Section 6 of the Wayne County Personnel Policy which addresses Tuition Reimbursement. The update will define financial assistance and student loans relating to out-of-pocket expenses. It will also update the language in the procedure to reflect the electronic process of applying for reimbursement.

NORTH CAROLINA

WAYNE COUNTY

RESOLUTION #2022-7: A RESOLUTION AMENDING THE WAYNE COUNTY PERSONNEL POLICY

WHEREAS, the Wayne County Board of Commissioners is authorized by North Carolina General Statutes(NCGS) 153A-94 to establish personnel policies that promote the hiring and retention of capable, diligent, and honest career employees; and

WHEREAS, the County Manager has recommended amending one article in the Personnel Policies previously adopted by Resolution of the Board of Commissioners; and

WHEREAS, after careful consideration of those changes the Board of Commissioners had determined that it wishes to adopt said changes by Resolution;

NOW, THEREFORE BE IT RESOLVED that the document entitled "WAYNE COUNTY PERSONNEL POLICY" previously adopted as the personnel policies for Wayne County Government, is hereby amended as follows:

Article XI, Section 6-B, change the item from

SECTION 6

B. Procedure/Rule

All full-time employees who have completed one year of service and who are not receiving educational financial assistance from another source will be eligible to apply for financial assistance under this program. In cases where an employee is receiving funds from another source that do not cover all the expenses, the County's program may be used to help defray costs over the amount of the funds received for approved courses. In order to apply for the tuition assistance program, the following steps are to be taken by the employee:

1. The employee obtains and completes in duplicate a Tuition Assistance Program Application form as soon as he/she decides to take a course.
2. All copies of the completed application are to be submitted to the employee's department head via the supervisor, if applicable. After the course and institution are approved by the department head, two copies of the application are submitted to the Human Resources Director.
3. If the supervisor or department head does not approve an application, he/she will discuss with the employee the reasons for not approving the application.
4. After the Human Resources Director reviews the application, a copy will be returned to the employee. A Refund Request Form will be attached for the employee to use to keep a formal record of expenditures.
5. After successful completion of the course, the employee may apply for reimbursement of eligible expenses using the following steps:

- a. Complete a Tuition Assistance Program Refund Request form, listing all eligible expenditures. Attach all receipts and verification of passing grade and submit to the department head.
- b. After review of the department head, the employee submits the TAP Refund Request form with attachments to the Human Resources Director within thirty (30) calendar days after completing the course or five days prior to the end of the fiscal year, whichever comes first.
- c. After verification of reported expenses, the Human Resources Director will send the TAP Refund Request form with attachments to the finance department for reimbursement of expenses for which the employee is eligible.

To:

Article XI, Section 6-B

SECTION 6

B. Procedure/Rule

All full-time employees who have completed one year of service and who are not receiving educational financial assistance from another source will be eligible to apply for financial assistance under this program. In cases where an employee is receiving funds from another source that do not cover all the expenses, the County's program may be used to help defray costs over the amount of the funds received for approved courses. Financial assistance is a source of funding which does not obligate the employee for any sort of repayment (i.e., scholarships or other grants). Student loans are considered an out-of-pocket expense and not financial assistance. In order to apply for the tuition assistance program, the following steps are to be taken by the employee:

1. The employee completes an online Tuition Assistance Program (TAP) Application form as soon as he/she decides to take a course.
2. Completed application is electronically routed to the employee's supervisor or department head. After the course and institution are approved by the department head, application is electronically routed to the Human Resources Director.
3. If the supervisor or department head does not approve an application, he/she will discuss with the employee the reasons for not approving the application.
4. After the Human Resources Director reviews the application, an electronic copy will be returned to the employee with a link to the Tuition Assistance Refund Request Form for the employee to use to keep a formal record of expenditures.
5. After successful completion of the course, the employee may apply for reimbursement of eligible expenses using the following steps:
 - a. Complete online Tuition Assistance Program Refund Request form, listing all eligible expenditures. Attach all receipts and verification of passing grade and submit to the department head.

- b. After review, the department head electronically submits the TAP Refund Request form with attachments to the Human Resources Director within thirty (30) calendar days after completing the course or five days prior to the end of the fiscal year, whichever comes first.
- c. After verification of reported expenses, the Human Resources Director will send the TAP Refund Request form with attachments to the finance department for reimbursement of expenses for which the employee is eligible.

"The Wayne County Board of Commissioners has adopted these Personnel Policies by Resolution in order to establish a personnel system which will recruit, select, develop, and maintain an effective and responsible work force. These Personnel Policies can only be amended by subsequent Resolution adopted by the Board of Commissioners."

This the 1st day of March 2022.

Joe Daugherty, Chairman
Wayne County Board of Commissioners

Carol Bowden, Clerk to the Board

NORTH CAROLINA

WAYNE COUNTY

RESOLUTION #2022-8: A RESOLUTION ACCEPTING NC GENERAL ASSEMBLY FUNDING TO ESTABLISH ACCOUNTABILITY AND RECOVERY COURTS

WHEREAS, the North Carolina General Assembly has provided \$460,000 in SL 2021-180 to Wayne County in order to establish an innovative court pilot program; and

WHEREAS, the goals established under the program are to establish Judicially Managed Accountability and Recovery Courts (JMARC) that: 1) reduce alcoholism and other substance use and dependencies among offenders; 2) reduce recidivism; 3) reduce the drug-related court workload; 4) reduce the mental, behavioral, or medical health-related court workload; 5) increase the personal, familial, and societal accountability of offenders; and 6) promote effective interaction, collaboration, coordination, and use of resources among criminal justice personnel; and

WHEREAS, the overarching goal of the 8th Judicial District to accomplish the JMARC goals, is to implement an Adult Accountability and Recovery Court (AARC), while continuing to support and enhance the 8th Judicial District's Family Accountability and Recovery Court (FARC); and

WHEREAS, the program models for the 8th Judicial District's Accountability and Recovery Courts are designed to address the significant need for treatment and recovery courts; and

WHEREAS, the Board of Commissioners is required to take formal action through the passage of this Resolution to formally approve the application for and formally accept the JMARC funds; and

WHEREAS, the JMARC program will be beneficial to the citizens of Wayne County.

NOW, THEREFORE BE IT RESOLVED by the Wayne County Board of Commissioners that:

1. That the Wayne County Board of Commissioners approve the acceptance of funds from the North Carolina General Assembly in the amount of \$230,000.00 in each year of the budget biennium for the purpose of implementing and maintaining 8th Judicial District Accountability and Recovery Courts.
2. That the County Manager/County Attorney can County Finance Officer are designated and directed to take all actions deemed reasonably necessary on behalf of the Board of Commissioners to apply for, receive, and administer the JMARC funds in accordance with

all applicable state laws.

Passed and adopted this the 1st day of March, 2022.

Joe Chairman
Wayne County Board of Commissioners

ATTEST:

Carol Bowden, Clerk to the Board



Approved and/or authorized by the
Wayne County Board of Commissioners

September 21, 2021

Carol Bowden
Clerk to the Board

County of Wayne Budget Amendment

#93

09/09/21
Date

Memorandum

From: Allison Speight
To: Wayne County Board of Commissioners
Via: County Manager & Finance Officer
Subject: Budget Amendment for Fiscal Year 2021-2022

1. It is requested that the budget for 21-22 Debt Project Fund be amended as follows:

EXPENDITURE

Code Number	Project	String	Description	Decrease	Increase
1109840-598000			Transfers to Other Funds-CPF		\$ 1,445,000.00
4678100-558000	C220001	DSS/Health-ARCENG	Capital Outlay-Bldg Struct & Impr		\$ 1,445,000.00

REVENUE

Code Number	Description	Increase	Decrease
1100000-398100	Fund Balance Appropriated	\$ 1,445,000.00	
4678100-398100	Transfers from Other Funds-GF	\$ 1,445,000.00	

Totals		\$ 2,890,000.00	\$ 2,890,000.00
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2. Reason(s) for the above request is/are as follows:

Endorsement

1. Forward, recommending approval/disapproval

Endorsement

2. Forward, recommending approval/disapproval

3. Approval/Disapproval by Chairman Board of Commissioners

Allison W. Speight
Department Head Signature

Allison W. Speight
Allison Speight, County Finance Director
2021

Craig Honeycutt
Craig Honeycutt County Manager & Budget Officer
2021

Wayne County Board of Commissioners
Chairman Board of Commissioners
9-21 2021

COUNTY OF WAYNE
CAPITAL PROJECT ORDINANCE
21-22 DEBT PROJECT FUND
FISCAL YEAR 2021-2022

BE IT ORDAINED by the Wayne County Board of Commissioners, that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project is hereby adopted:

Section 1. The project authorized is for construction of a new, combined Department of Social Services and Health building.

Section 2. The officers of this unit are hereby directed to proceed with 21-22 Debt Project Fund within the terms of the budget contained herein.

Section 3. The following amounts are appropriated for the project:

4678100-558000-C220001-DSS/Health-ARCENG	Capital Outlay-Bldg Struct & Impr	\$1,445,000.00 Increase
--	-----------------------------------	-------------------------

Section 4. The following revenues are anticipated to be available to complete this project:

4678100-398100	Transfers from Other Funds-GF	\$1,445,000.00 Increase
----------------	-------------------------------	-------------------------

Section 5. The Finance Director is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records to satisfy the requirements of the agreement.

Section 6. The capital projects funds are appropriated pursuant to section 13.2 of Chapter 159 of the General Statutes of North Carolina; therefore, appropriations do not lapse at the end of the fiscal year and are available for duration of the project unless subsequently amended by Board action.

Section 7. The County Manager is directed to report annually on the financial status of the project in an information section to be included in the annual Budget and shall keep the Board of Commissioners informed of any unusual circumstances. The County Manager shall distribute copies of this Capital Projects Ordinance as appropriate.

Adopted this _____ day of September 2021

WAYNE COUNTY
FINANCE



WAYNE COUNTY
NORTH CAROLINA

Phone: (919) 731-1417

Fax (919) 731-1388

Memorandum

To: Wayne County Board of Commissioners

CC: Craig Honeycutt, County Manager

From: Allison Speight, Finance Director *AS*

Date: 09/09/2021

Re: BA #93

On June 1 of this year, the Board of Commissioners approved a 4.4 cent tax increase as part of the FY 2021-2022 budget. This tax increase will be used to fund the debt service for a new detention center and a new combined DSS/Health facility. At the same meeting, a motion was made and approved to issue a RFQ for architectural and construction manager at risk services to design and oversee the construction of the DSS/Health building.

During the July 20 Board of Commissioners meeting, a presentation of the Facilities' Committee search for an architect was presented and a recommendation was made to the Board for the selection of Moseley Architects. The Board voted to approve staff to negotiate a contract with Moseley Architects for architectural services of the DSS/Health building. A contract has since been reviewed by attorneys and establishes basic design services of \$1,370,000 and furniture design services of \$75,000 for the project.

This budget amendment sets up a capital project fund for a future debt financing of various projects and transfers funds from the General Fund to the capital project fund for the amount of the Moseley Architect contract. Once the debt financing is completed, the county will reimburse itself from the debt proceeds for the amount of this transfer.

If you have any questions, please do not hesitate to contact me. Thank you!

THE GOOD LIFE. GROWN HERE.

PO BOX 227
GOLDSBORO, NC 27533

COUNTY OF WAYNE
FINANCIAL MANAGEMENT RESOLUTION #2022-10
2022 CDBG NEIGHBORHOOD REVITALIZATION
#20-C-3645

WHEREAS, the County of Wayne has received 2022 CDBG Neighborhood Revitalization funds in the amount of \$750,000.00 from the NC Division of Emergency Management; and

WHEREAS, the North Carolina Administrative Code (4 NCAC 19L) requires that the County of Wayne designate a Grant Finance Officer, authorize individuals to execute grant requisitions, and designate a depository for CDBG revenues.

NOW, THEREFORE, the Board of Commissioners of the County of Wayne hereby resolves the following:

- (1) That Allison Speight will serve as Grant Finance Officer and will be responsible for financial management of the 2022 CDBG Neighborhood Revitalization #20-C-3645 according to the requirements of 4 NCAC 19L: and
- (2) That BB&T (TRUIST) of Goldsboro, North Carolina is hereby designated as the official depository for revenues budgeted for the 2022 CDBG Neighborhood Revitalization; and
- (3) That Craig F. Honeycutt, County Manager; Chip Crumpler, Assistant County Manager; Allison Speight, Finance Director; and Angie Boswell, Assistant Finance Director, are hereby designated as individuals certified to sign requisitions for 2022 CDBG Neighborhood Revitalization funds; and
- (4) That Carol Bowden, Clerk to the Board, is hereby directed to sign the "Signatory Forms and Certifications" as the "Certifying Official" and return the forms along with all other materials as necessary to the respective agencies.

Adopted this ____ day of March, 2022.

Joe Daughtery, Chairman

Carol Bowden, Clerk to the Board

Recipient Name County of Wayne
Address: P.O. Box 227
Goldstboro, NC 27533

Signatures of individuals authorized to sign Requisition for Funds forms. (Two signatures required on each requisition.)

(Signature) _____	<u>Craig Honeycutt, County Manager</u> (Typed Name) (Typed Title)
(Signature) _____	<u>Chip Crumpler, Asst. County Manager</u> (Typed Name) (Typed Title)
(Signature) _____	<u>Allison Speight, Finance Director</u> (Typed Name) (Typed Title)
(Signature) _____	<u>Angie Boswell, Asst. Finance Director</u> (Typed Name) (Typed Title)

CERTIFICATION

1. () I certify that the signatures above are of the individuals authorized to sign Requisition for Funds form for the above recipient.

Clerk to the Board

Certifying Official + Title

2. () The governing board has passed a resolution authorizing the persons above to sign Requisition for Funds forms for the above recipient. A copy of the resolution is attached.

I certify that the signatures above are those of the individuals authorized by resolution of the governing board of the recipient to sign Requisition for Funds forms.

Clerk to the Board

Certifying Official + Title